



# PROPERTY INFORMATION PACK

---

KARITANE  
**69 Stornoway Street**

[nidd.co.nz](http://nidd.co.nz)

PRESENTED BY  
**Kirsty Coulter**





## KARITANE 69 Stornoway Street



### ASKING PRICE

Visit [nidd.co.nz](http://nidd.co.nz) for detail

### LAND AREA

1,012 m<sup>2</sup> more or less

### BUILDING AREA

Approximately 200 m<sup>2</sup>

### OUTGOINGS

Council Rates \$3,004.00 pa

### C.V.

\$770,000

### LEGAL DESCRIPTION

OT229/194  
Section 18 Block XII Town of Waikouaiti



### Kirsty Coulter

Property Consultant

MOBILE 027 311 4445

DIRECT 425 9943

EMAIL [kirsty.coulter@nidd.co.nz](mailto:kirsty.coulter@nidd.co.nz)

WEB [nidd.co.nz](http://nidd.co.nz)

Gold Achiever

This Property Information has been supplied by the DCC. Nidd Realty cannot warrant the content or completeness of this document. We have used our best endeavours to provide complete documentation and correct information.

Potential purchasers should not be confined to the material herein and should always undertake their own due diligence on all aspects of the property.



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** OT229/194  
**Land Registration District** Otago  
**Date Issued** 08 June 1928

**Prior References**

OT43/152

---

<b>Estate</b>	Fee Simple
<b>Area</b>	1012 square metres more or less
<b>Legal Description</b>	Section 18 Block XII Town of Waikouaiti

**Registered Owners**

Melanie Jane Money as to a 1/2 share  
Stefan Nelson Clifford Austin as to a 1/2 share

---

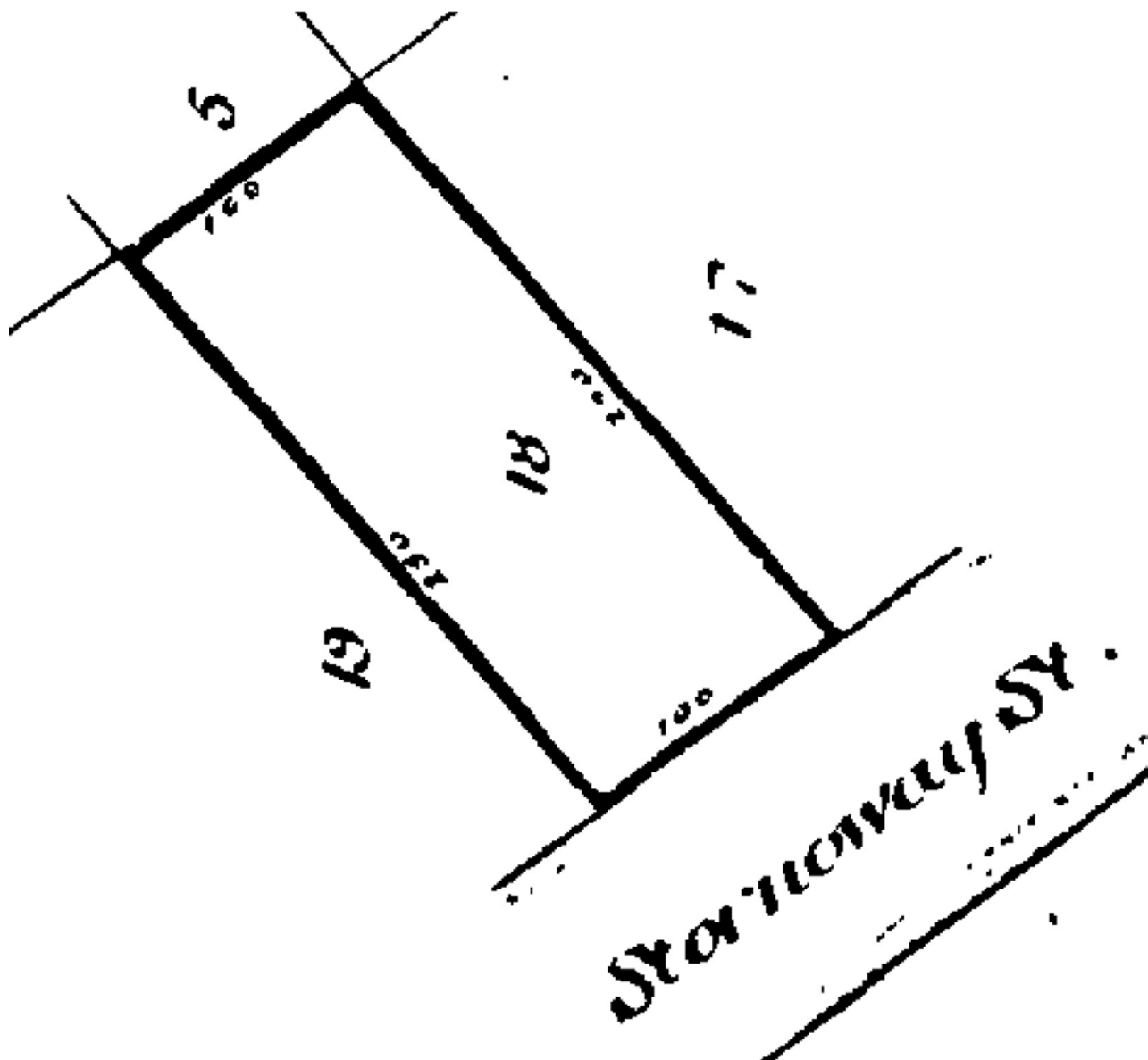
**Interests**

10894630.1 Mortgage to ANZ Bank New Zealand Limited - 12.9.2017 at 10:02 am

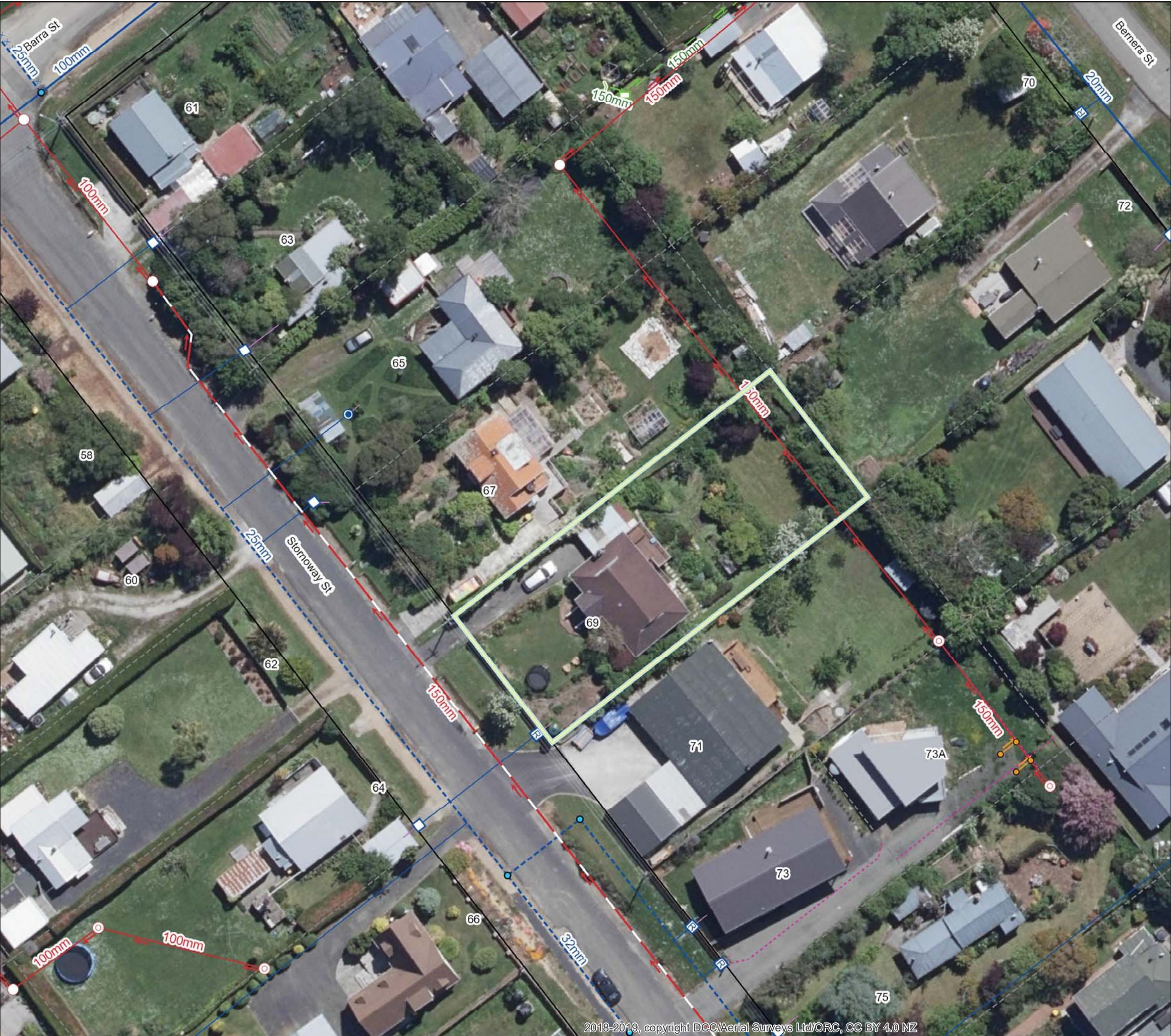


Identifier

OT229/194







### Legend

#### Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

**NOTE:**  
Private water services have the same symbols as those above, however they are coloured pink.

#### Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

**NOTE:**  
Private foul drains have the same symbols as those above, however they are coloured orange.

#### Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

**NOTE:**  
Private stormwater drains have the same symbols as those above, however they are coloured light green.

#### General

	DCC Water & Waste Structure		Parcel
	Railway Centreline		Hydro
			Strata
			Road/Rail
			Motorway Parcels
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>

## Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

7/05/2020  
7:42:58 PM

Scale at A3:  
1:500

N

PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES. This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ  
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.  
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.



## PROPERTY DETAILS

<b>Property Key</b>	5045954
<b>Print Date</b>	07/05/2020 08:12 PM
<b>Address</b>	69 Stornoway Street Karitane
<b>Property Type</b>	Situation
<b>Property Name</b>	
<b>Legal Description</b>	SEC 18 BLK XII SO 14977 TN OF WAIKOUAITI

## BUILDING PERMITS/CONSENTS

### Pre-1992 Historical Records (No CCC Required)

#### AAS

#### Details

AAS19760073 H17702 - Erect dwelling, plan (McLachlan)

Number	Type	Status	Started
H-1976-277437 (AAS19760073)	AAS	Historical Record	08/11/1976

#### Details

AAS19840147 4511 - Connect drainage to new sewer, plan (McLachlan)

Number	Type	Status	Started
H-1984-283758 (AAS19840147)	AAS	Historical Record	14/05/1984

#### Details

AAS19840146 B080658 - Install Stack Ferra heater, plan (McLachlan)

Number	Type	Status	Started
H-1984-283757 (AAS19840146)	AAS	Historical Record	11/06/1984

#### Details

AAS19890085 G044157 - Erect car port, plan (Dick)

Number	Type	Status	Started
H-1989-287406 (AAS19890085)	AAS	Historical Record	04/07/1989



## Details

AAW19570111 111 - Extension to back of crib and new roof, plan (Wright)

Number	Type	Status	Started
H-1957-111		Historical Record	22/02/1957

## Building Consent

### Details

Add to dwelling - entry porch and replace old deck with new

Number		Status	Started
ABA-2012-2155		CCC Issued	20/11/2012
PIM	BC	ICC	CCC
	17/12/2012		25/07/2014

### Details

Alter Dwelling - First Floor: Existing logburner to be replaced with Metro Fire Echo Trend Woodburner. Ground Floor: Install Bathroom, Internal Wall Alteration, Install Beam and Existing windows Replaced with Double Glazing

Number		Status	Started
ABA-2017-2059		CCC Issued	11/10/2017
PIM	BC	ICC	CCC
	28/11/2017		18/09/2019

### Details

Install toilet and Hand Basin

Number		Status	Started
ABA-2000-292142 (ABA2913)		CCC Issued	15/11/2000
PIM	BC	ICC	CCC
16/11/2000	16/11/2000		06/12/2000

## BUILDING ACT - OTHER

### PIM

#### Details

Add to dwelling - entry porch and replace old deck with new

Number	Status	Started
PIM-2012-891	PIM Issued	20/11/2012
<b>PIM</b>		
17/12/2012		

## PROPERTY ANALYSIS

Analysis Group	Reference	Apply Date
Sewer in Section	Foul	23/12/2016

#### Details

##### Property note:

**SS** Sewer in Section

**NOTE: The Property Analysis section is additional information recorded in the computer system for your property. Full details of items can be obtained by requesting a Land Information Memorandum or Land Information Report from the Council Information Management Unit.**

## DISCLAIMER

The information in this report is provided in accordance with Sections 216 and 217 of the Building Act 2004.

No person should rely on this information without seeking appropriate, independent and professional advice.

Every care has been taken to ensure that the information supplied is accurate however Council does not give any guarantees, undertakings or warranties concerning the accuracy, completeness or up-to-date nature of the information provided and disclaims all liability whatsoever for any error, inaccuracy, irrelevance or incompleteness of the information.

The information provided does not constitute a Land Information Memorandum (LIM).

## DEFINITION OF "STATUS" OF BUILDING CONSENTS

CCC REFUSED/ARCHIVED CONSENTS: In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.

LAPSED CONSENTS: Section 52 of the Building Act 2004 requires that a building consent shall lapse and be of no further effect if work has not commenced within 12 months after the date of issue, or any further period allowed by the Building Consent Authority.

The application will be given a status of LAPSED if no extension of time to this period is applied for. This means that a new consent will be required if the work were to take place in the future.

NOTE: This is NOT a comprehensive list of all building consent statuses.

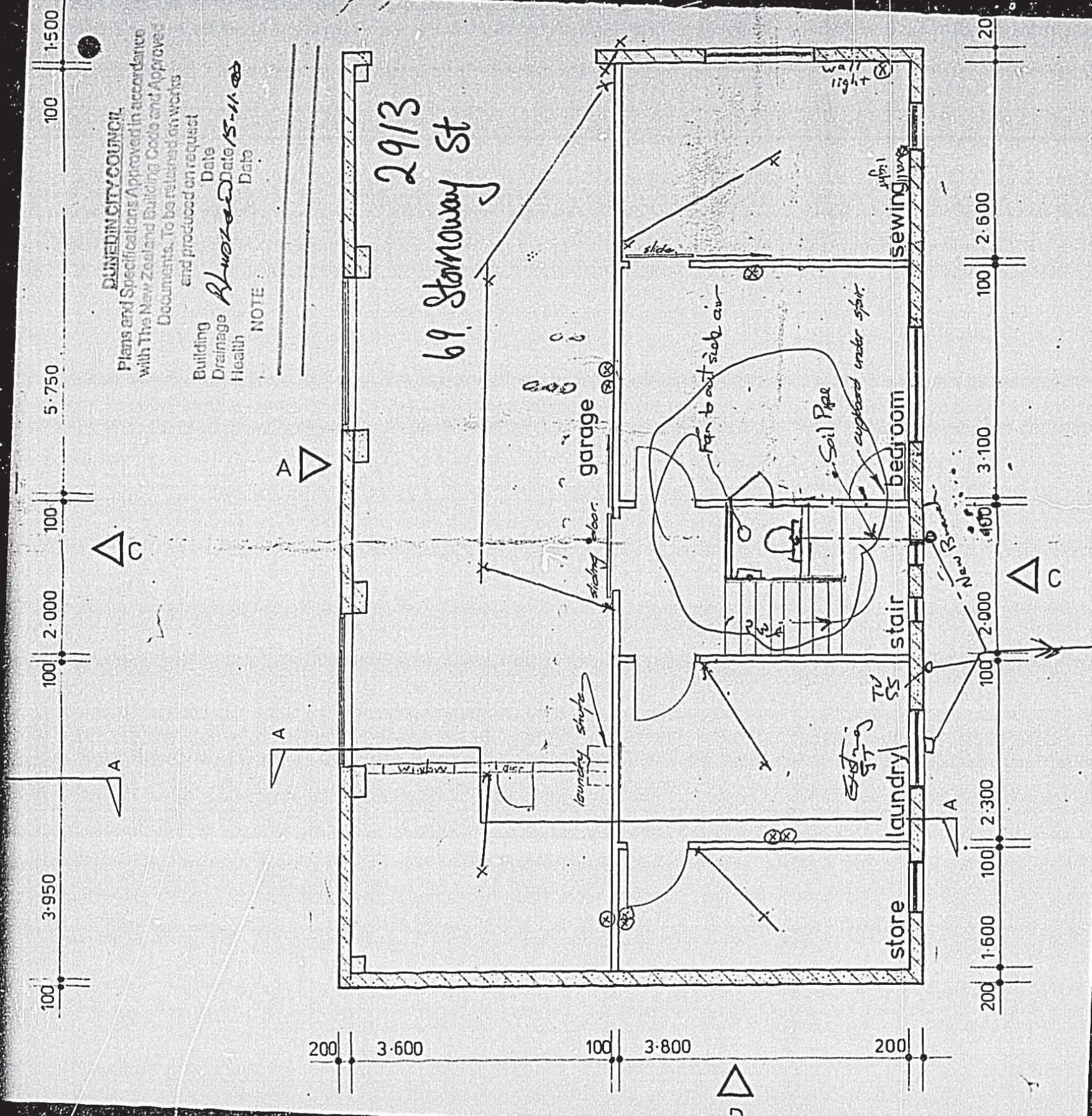
## DEFINITION OF "ABBREVIATIONS"

Pim = Project Information Memorandum  
BC = Building Consent  
ICC = Interim Code Compliance Certificate  
CCC = Code Compliance Certificate  
CER = Certifier  
COA = Certificate of Acceptance  
NTF = Notice to Fix  
AMD = Amendment to a Building Consent



45954

with the  
duty or  
ons of





# DESCRIPTION OF WORK

REMOVE EXISTING CANTILEVERED DECK  
ERECT NEW TIMBER DECK TO NORTH ELEVATION  
ERECT NEW ENTRY PORCH TO SOUTH ELEVATION

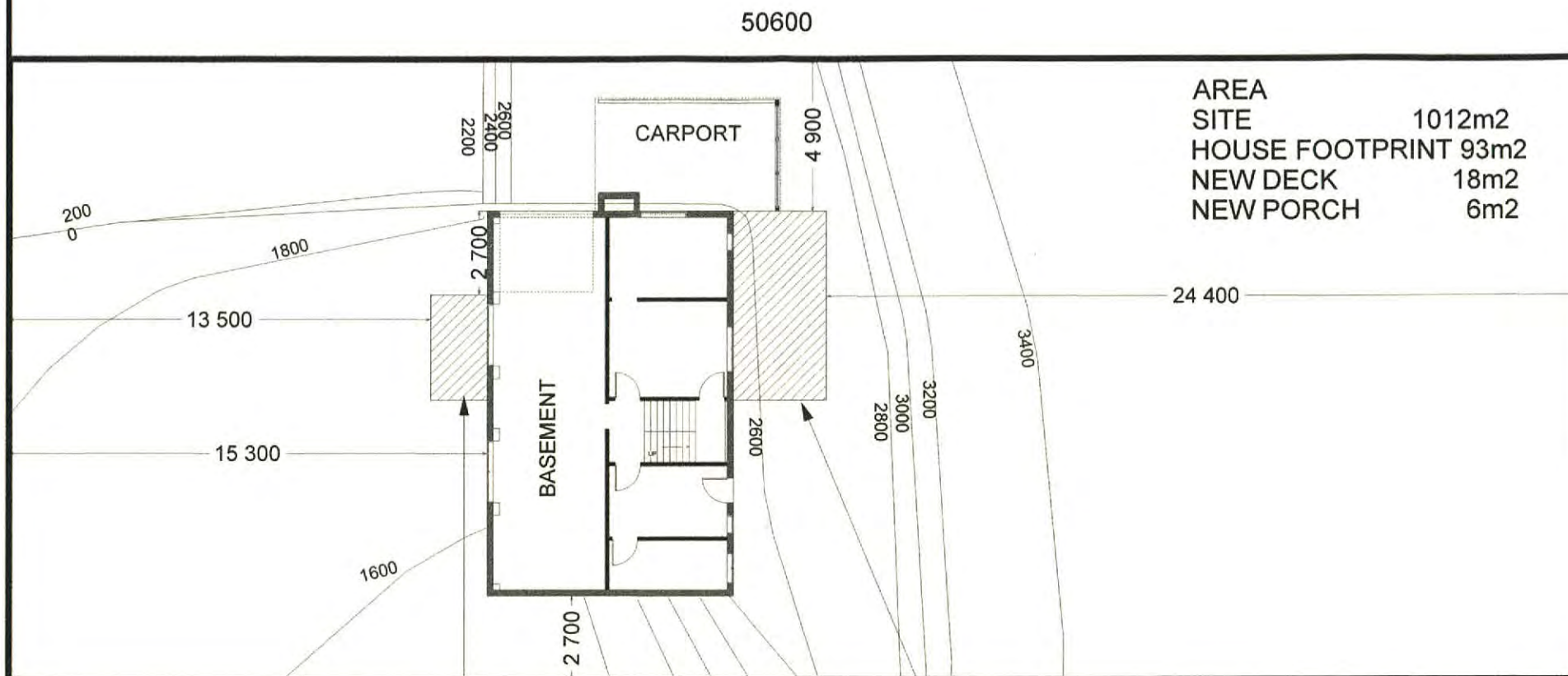
## MEANS OF COMPLIANCE:

STRUCTURE NZBC B1/AS1 DURABILITY NZBC B2/AS1 ACCESS ROUTES NZBC D1/AS1 SURFACE WATER NZBC E1/AS1 EXTERNAL MOISTURE NZBC E2/AS1  
SAFETY FROM FALLING NZBC F4/AS1

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2012 - 2155

STORNOWAY STREET



NEW PORCH

NEW DECK

EXISTING DWELLING  
MASONRY BASEMENT  
TIMBER FRAMED BRICK VENEER GRND FLOOR  
ERECTED 1976

DCC CITY PLANNING

THESE PLANS ARE APPROVED

This development complies with the District Plan(s)  
subject to: Existing Use Rights

[Signature] 21/11/12  
Signed Dated

20000

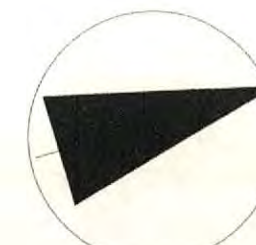
DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance  
with The New Zealand Building Code and Approved  
Documents. To be retained on works

and produced on request  
Building Date 14/12/2012  
Plumbing Date 10/12/2012  
Health Date

NOTE

Contractor to ensure deck sited clear  
of existing drains



NORTH

CONTOUR DATUM 0 HOUSE FLOOR

LEGAL  
DESCRIPTION:  
SEC 18 BLK XII  
SO 14977  
TN OF WAIKOUAITI

SITE  
ADDRESS:  
69 STORNOWAY ST  
KARITANE

PROJECT:

ALTERATIONS TO DWELLING  
FOR S HELWIG & L MORRISON

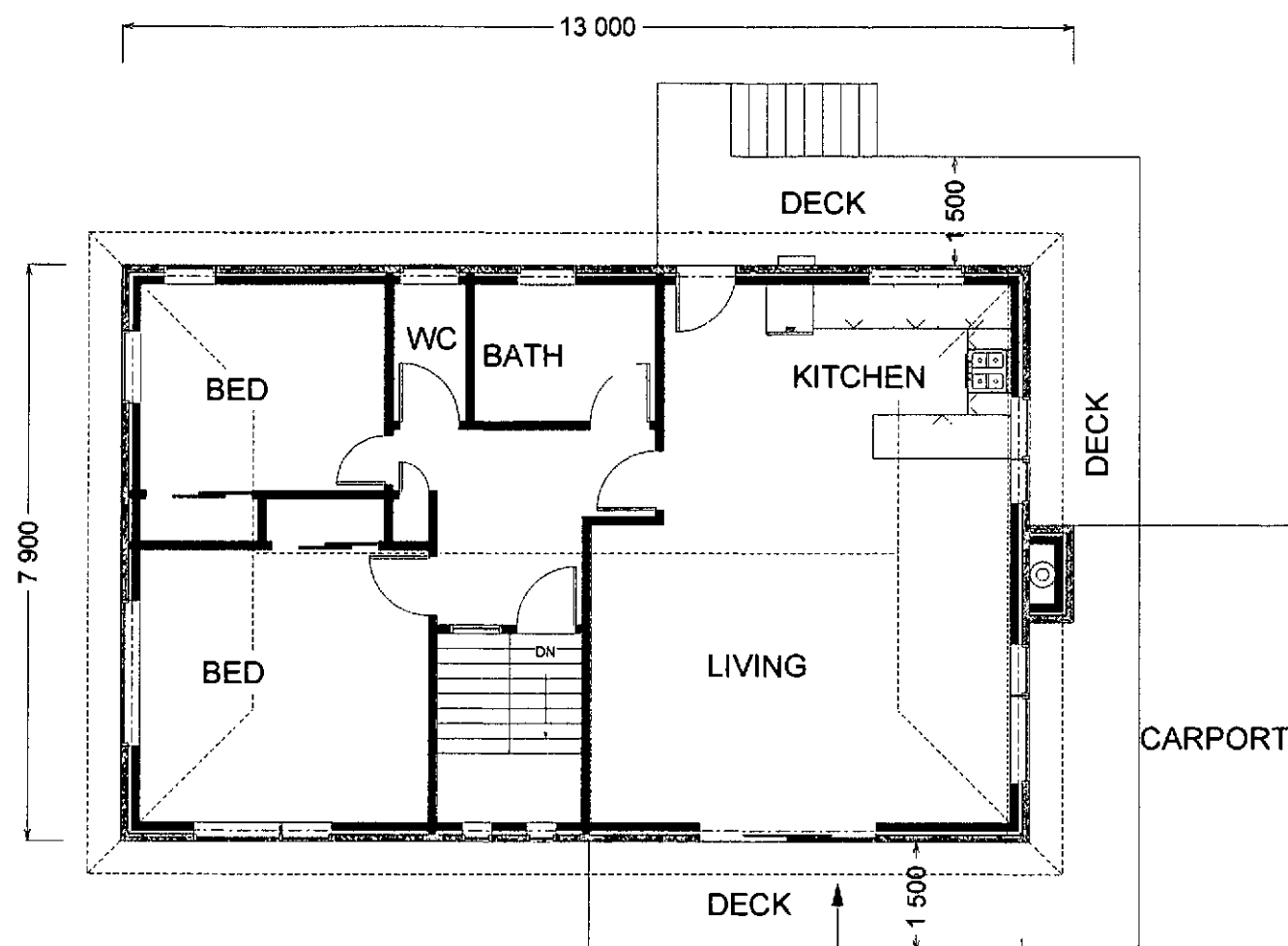
CLIENT:

CONFIRM ALL DIMENSIONS ON SITE

LEE PRESTON  
DESIGN  
0275520130

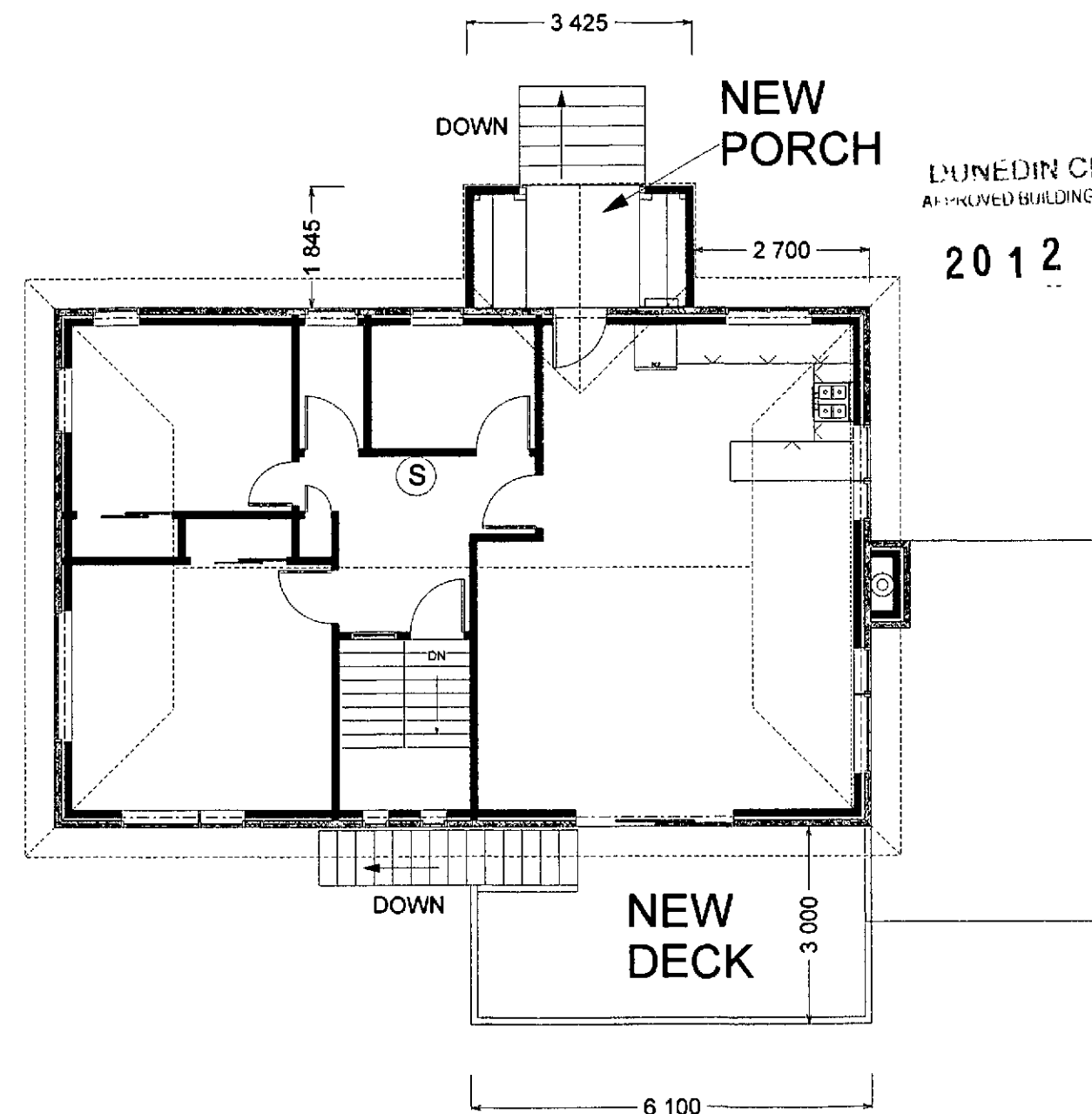
DRAWING: SITE PLAN  
DRAWN: LP  
SCALE: 1:200

SHEET: 1  
DATE: 15/11/2012  
JOB REF: 510



EXISTING CANTILEVERED TIMBER DECK TO BE REMOVED

EXISTING



S SMOKE ALARM

PROPOSED

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2012 2155

LEGAL  
DESCRIPTION:  
SEC 18 BLK XII  
SO 14977  
TN OF WAIKOUAITI

SITE  
ADDRESS:  
69 STORNOWAY ST  
KARITANE

PROJECT:

ALTERATIONS TO DWELLING  
FOR S HELWIG & L MORRISON

CLIENT:

CONFIRM ALL DIMENSIONS ON SITE

LEE PRESTON  
DESIGN  
0275520130

DRAWING: FLOOR PLAN

DRAWN: LP

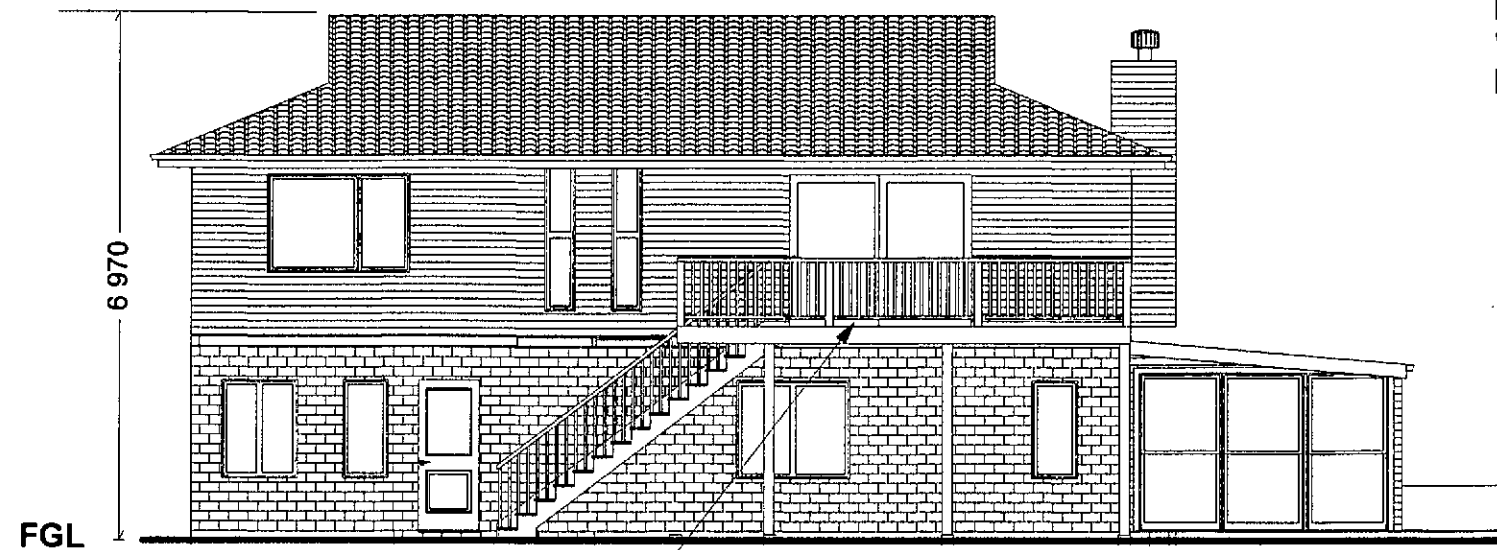
SCALE: 1:100

SHEET: 2

DATE: 12/12/2012

JOB REF: 510





NORTH ELEVATION

NEW TIMBER DECK  
WITH ALUMINIUM  
BALLUSTRADE

NEW PORCH



SOUTH ELEVATION

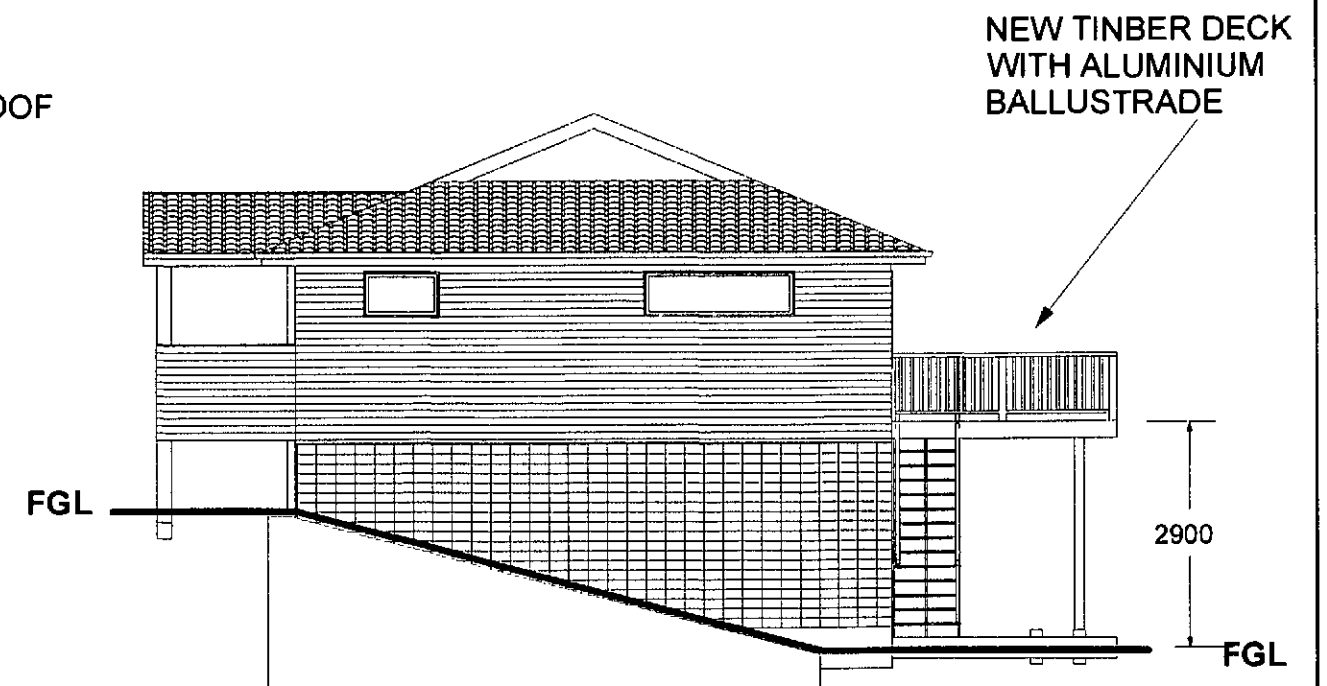
FILLED MASONRY BASEMENT  
BRICK VENEER GROUND FLOOR  
TIMBER JOINERY  
TIMBER FASCIA  
PVC GUTTER  
CONCRETE TILE ROOF

NEW TIMBER DECK  
WITH ALUMINIUM  
BALLUSTRADE



WEST ELEVATION

DUNEDIN CITY COUNCIL  
ALTERATIONS TO BUILDING CONSENT DOCUMENT  
NEW PORCH 2012 2155



EAST ELEVATION

NEW TIMBER DECK  
WITH ALUMINIUM  
BALLUSTRADE

LEGAL  
DESCRIPTION:  
SEC 18 BLK XII  
SO 14977  
TN OF WAIKOUAITI

SITE  
ADDRESS:  
69 STORNOWAY ST  
KARITANE

PROJECT:

ALTERATIONS TO DWELLING  
FOR S HELWIG & L MORRISON

CLIENT:

**CONFIRM ALL DIMENSIONS ON SITE**

LEE PRESTON  
DESIGN  
0275520130

DRAWING: ELEVATIONS

DRAWN: LP

SCALE: 1:100

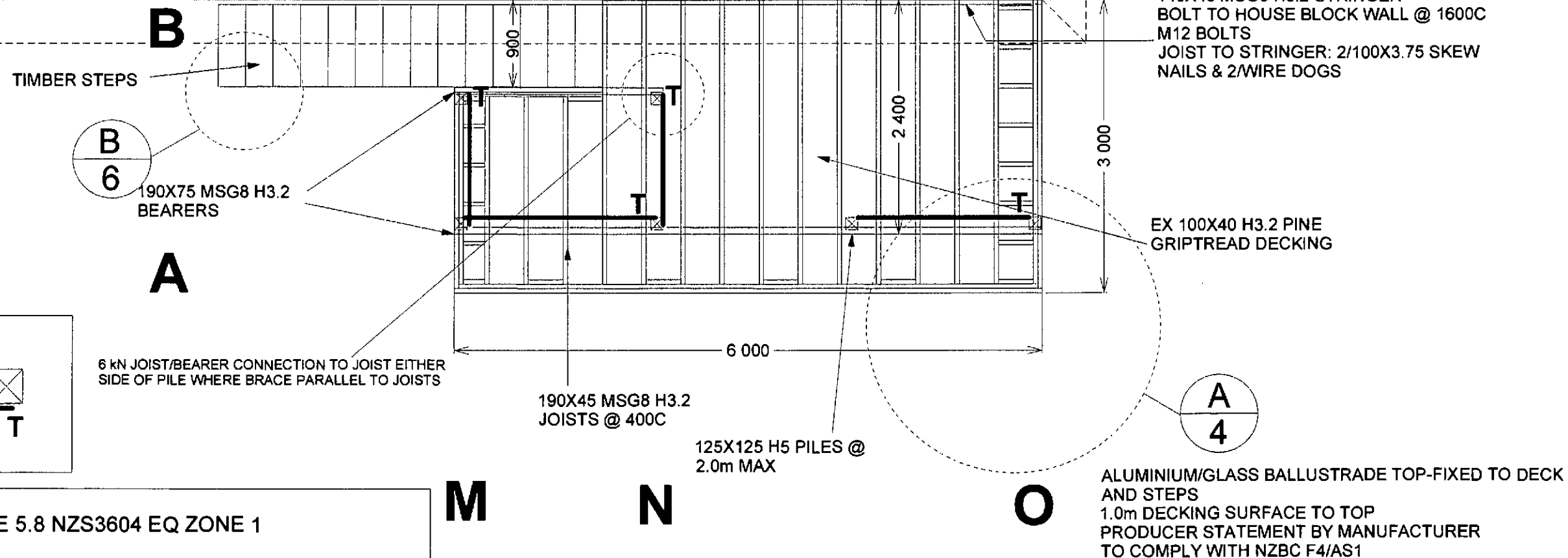
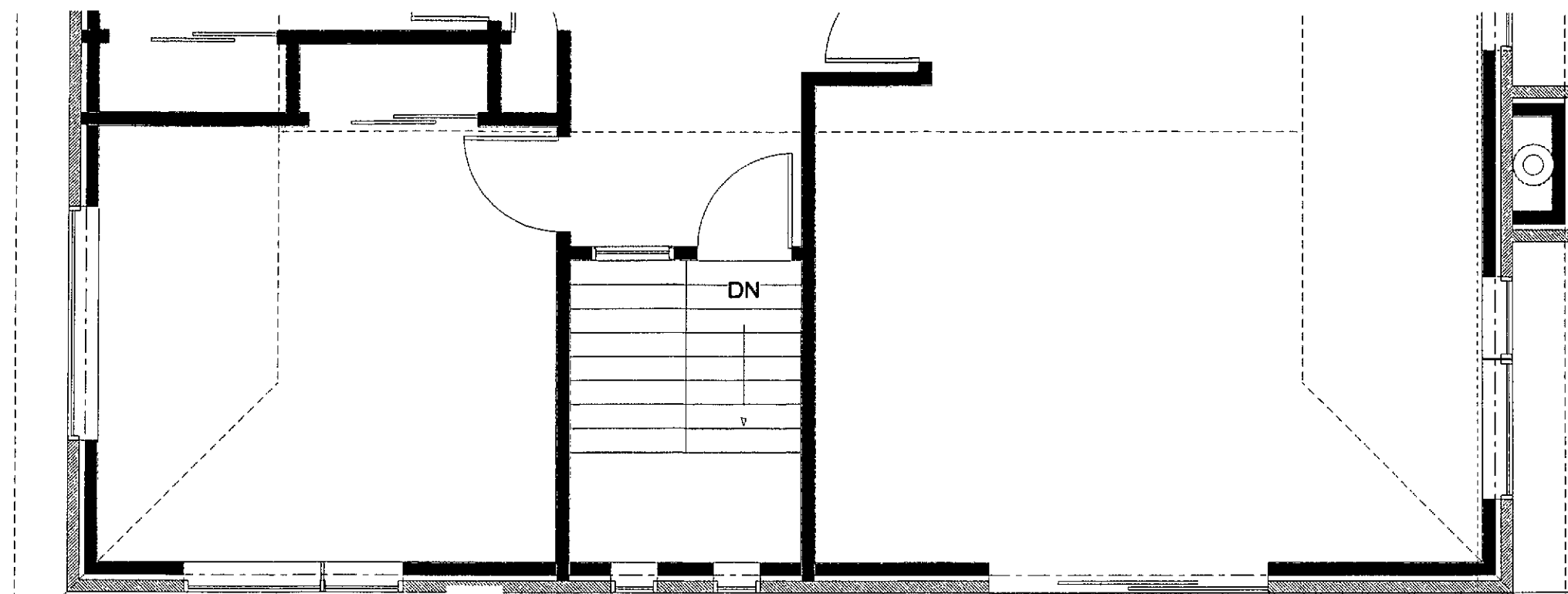
SHEET: 3

DATE: 15/11/2012

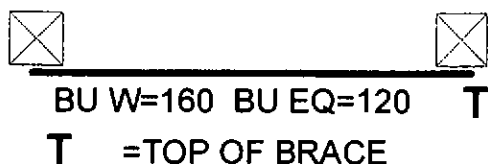
JOB REF: 510

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2012 -- 2155



# BRACED PAIR OF PILES



BRACING DEMAND: 3.75 BU/m<sup>2</sup>  
0.5 CAPACITY SUBFLOOR TABLE 5.8 NZS3604 EQ ZONE 1  
SOIL TYPE D&E

18m<sup>2</sup> X 3.75 = 67.5 BU REQD

	W	EQ
ACHIEVED: A	320	240
M	160	120
N	160	120

LINES B & O BY EXISTING REINFORCED MASONRY HOUSE BASEMENT

FIXINGS  
ALL STRUCTURAL FIXINGS TO DECKS TYPE 304 STAINLESS STEEL

**CONFIRM ALL DIMENSIONS ON SITE**

LEGAL  
DESCRIPTION:  
**SEC 18 BLK XII**  
**SO 14977**  
**TN OF WAIKOUAITI**

SITE  
ADDRESS:  
**69 STORNOWAY ST**  
**KARITANE**

PROJECT:  
**ALTERATIONS TO DWELLING**  
**FOR S HELWIG & L MORRISON**

CLIENT:

**LEE PRESTON**  
**DESIGN**  
**0275520130**

DRAWING: **DECK PLAN**

DRAWN: **LP**

SCALE: **1:50**

SHEET: **4**

DATE: **12/12/2012**

JOB REF: **510**

190X45 DWANG AT BALLUSTRADE POST  
CENTRES (1250 FOR ALUMINIUM/GLASS)

190X45 DWANGS @ 400C BETWEEN  
OUTER DECK JOIST AND EDGE JOIST

DOUBLE EDGE AND BOUNDARY JOISTS

2/M12X200  
COACH SCREWS  
@ 140C

NOTE: ALL BOLTS HAVE 50X50X3  
WASHERS TO HEAD AND NUT

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2012 -- 2155

2/M12 @ 400C

2/M12X250 COACH SCREWS @ 140C FOR BDY  
JOIST TO JOIST AND EDGE JOIST TO DWANG

6KN STRAP TOP AND BOTTOM  
NOTE :strap does NOT have to wrap  
around front of outer joist for top-fixed  
post

2/M12 @ 400C

FIXINGS  
ALL STRUCTURAL FIXINGS TO DECKS TYPE 304 STAINLESS STEEL

**CONFIRM ALL DIMENSIONS ON SITE**

LEGAL  
DESCRIPTION:  
**SEC 18 BLK XII  
SO 14977  
TN OF WAIKOUAITI**

SITE  
ADDRESS:  
**69 STORNOWAY ST  
KARITANE**

PROJECT:

**ALTERATIONS TO DWELLING  
FOR S HELWIG & L MORRISON**

CLIENT:

**LEE PRESTON  
DESIGN  
0275520130**

DRAWING:  
**DETAIL A DECK FRAMING**

DRAWN:  
LP

SCALE:  
1:10

SHEET: **5**  
DATE: **15/11/2012**  
JOB REF:  
**510**



TOTAL RISE 2640  
TOTAL RUN 3920  
RISE=15 @ 176 = 2640  
TREAD = 14@280=3920

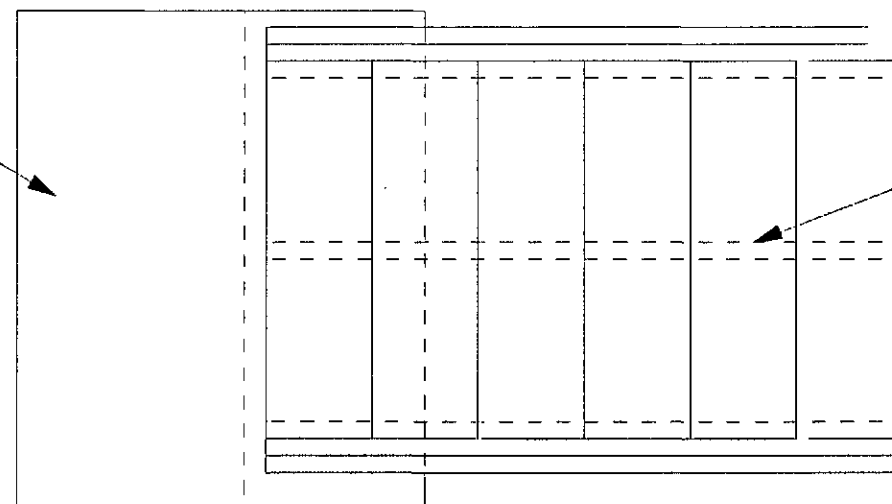
TOP-FIXED ALUMINIUM/GLASS BALUSTRADE  
INCORPORATING HANDRAIL  
SEE PS FOR BALUSTRADE

CENTRE STRING CUT FROM 300X50  
POSITION UNDER DECKING AND  
BEHIND RISERS

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2012-2155

BASE SLAB SET 2640 BELOW  
FINISHED DECKING LEVEL.  
CONFIRM ON SITE THAT THIS  
MEETS EXISTING PATH OK



1000

FORM TREADS WITH  
40MM DECKING  
PROFILED SIDE UP

20 MAX NOSING

140X45 RISERS AS DWANGS  
2/M12X200 COACH SCREWS  
EACH END

300

B177 BOWMAC  
BRACKET  
STRING TO SLAB

240X140X45 BLOCK  
BOLTED THROUGH  
DOUBLE STRING  
WITH 2/ M12 BOLTS

#### FIXINGS

ALL STRUCTURAL FIXINGS TO DECKS TYPE 304 STAINLESS STEEL

**CONFIRM ALL DIMENSIONS ON SITE**

LEGAL  
DESCRIPTION:  
**SEC 18 BLK XII**  
**SO 14977**  
**TN OF WAIKOUAITI**

SITE  
ADDRESS:  
**69 STORNOWAY ST**  
**KARITANE**

PROJECT:

**ALTERATIONS TO DWELLING**  
**FOR S HELWIG & L MORRISON**

CLIENT:

**LEE PRESTON**  
**DESIGN**  
**0275520130**

DRAWING:

**DETAIL B STEPS**

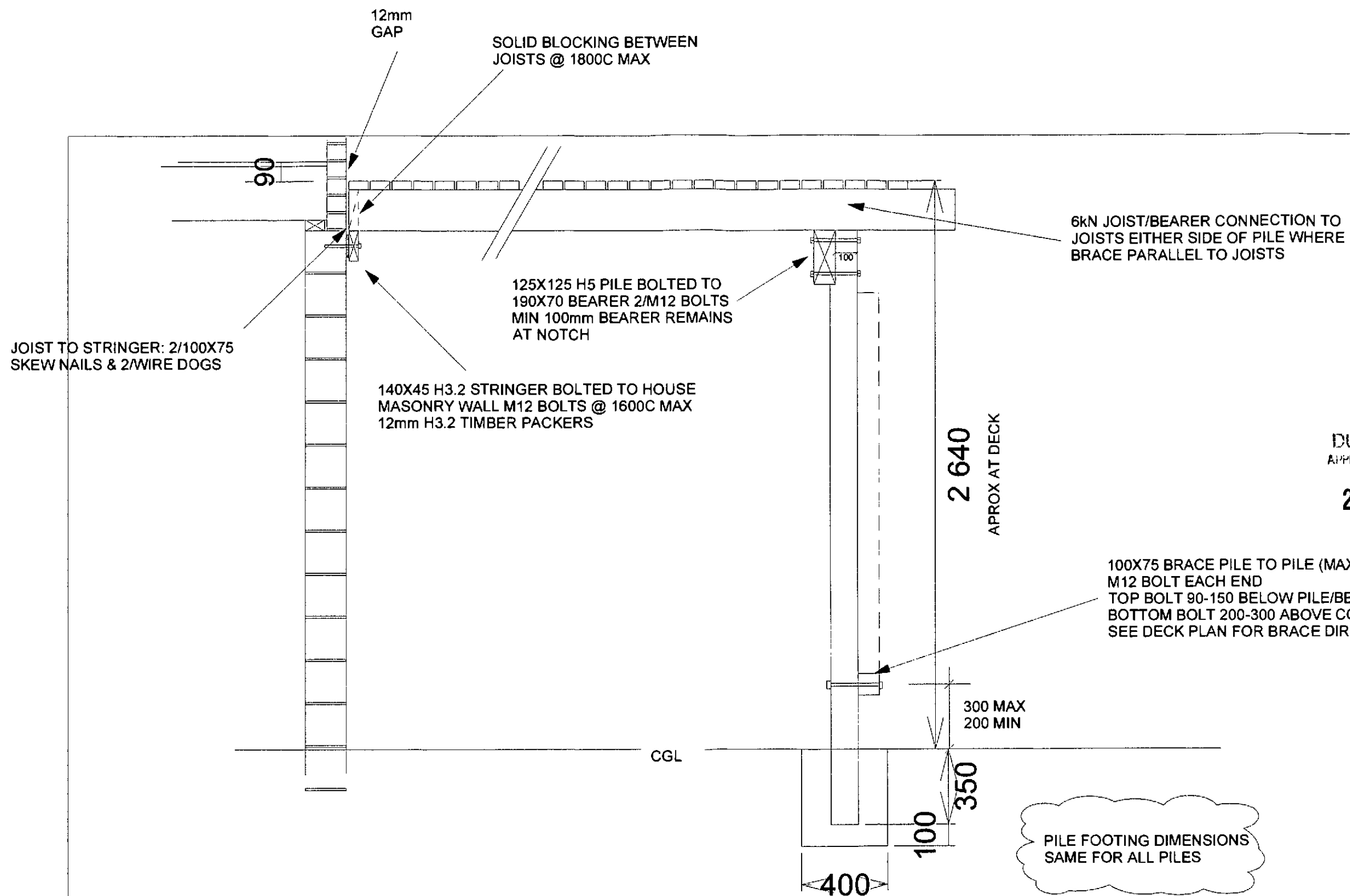
DRAWN:  
LP

SCALE:  
1:20

SHEET: 6

DATE: 15/11/2012

JOB REF:  
510



DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2012 - 2155

**FIXINGS**  
ALL STRUCTURAL FIXINGS TO DECKS TYPE 304 STAINLESS STEEL

**CONFIRM ALL DIMENSIONS ON SITE**

LEGAL  
DESCRIPTION:  
**SEC 18 BLK XII**  
**SO 14977**  
**TN OF WAIKOUAITI**

SITE  
ADDRESS:  
**69 STORNOWAY ST**  
**KARITANE**

PROJECT:

**ALTERATIONS TO DWELLING**  
**FOR S HELWIG & L MORRISON**

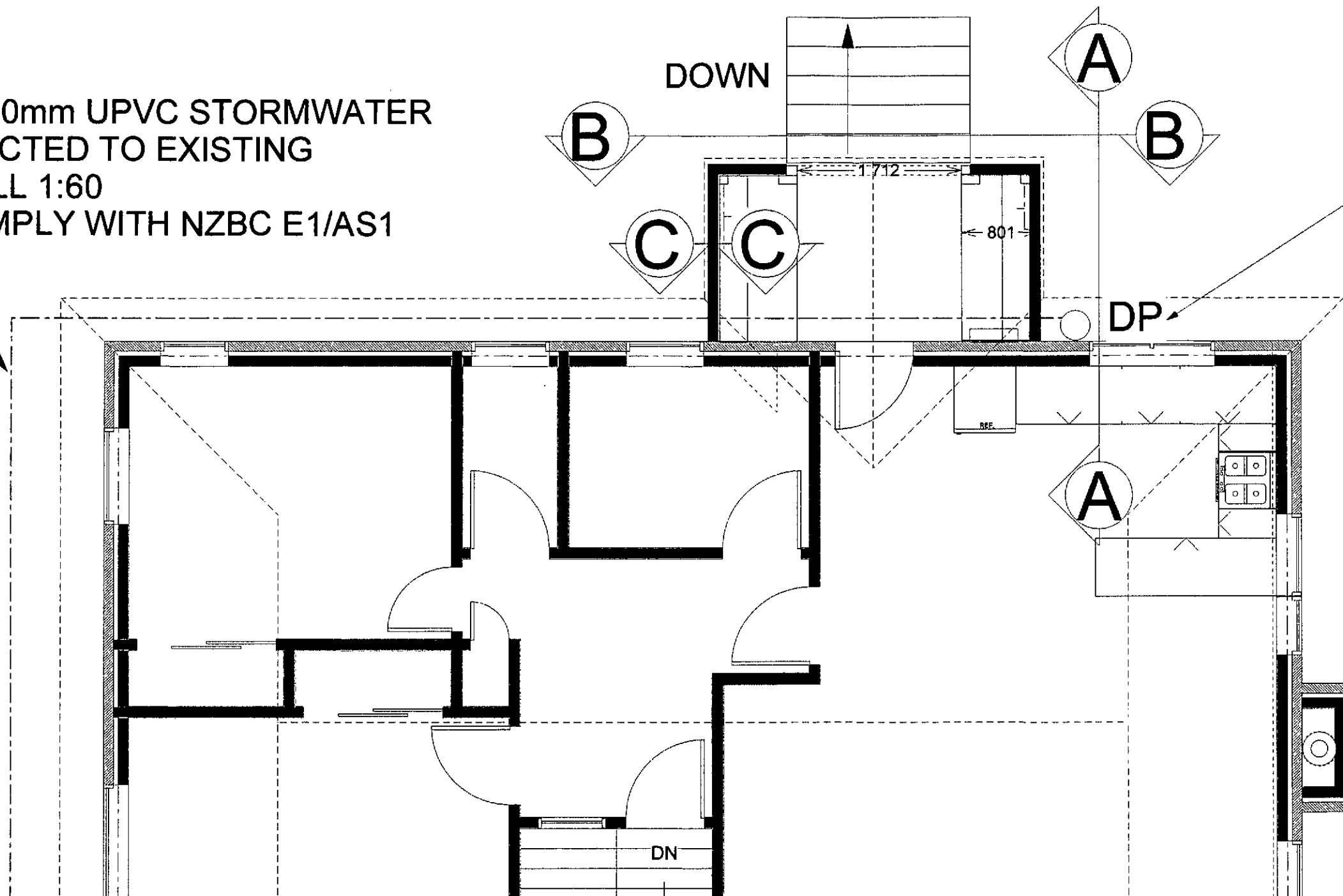
CLIENT:

**LEE PRESTON**  
**DESIGN**  
**0275520130**

DRAWING:  
**TIMBER PILE & STRINGER**  
DRAWN: LP  
SCALE: 1:20

SHEET: 7  
DATE: 12/12/2012  
JOB REF: 510

NEW 100mm UPVC STORMWATER  
CONNECTED TO EXISTING  
MIN FALL 1:60  
TO COMPLY WITH NZBC E1/AS1



NEW 80mm  
DOWNPIPE

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2012 -- 2155

**CONFIRM ALL DIMENSIONS ON SITE**

LEGAL  
DESCRIPTION:  
**SEC 18 BLK XII**  
**SO 14977**  
**TN OF WAIKOUAITI**

SITE  
ADDRESS:  
**69 STORNOWAY ST**  
**KARITANE**

PROJECT:

**ALTERATIONS TO DWELLING**  
**FOR S HELWIG & L MORRISON**

CLIENT:

**LEE PRESTON**  
**DESIGN**  
**0275520130**

DRAWING:  
**PORCH PLAN**

DRAWN:  
**LP**

SCALE:  
**1:50**

SHEET: **8**  
DATE: **15/11/2012**  
JOB REF: **510**

2/240X45 H1.2 SG8 LINTEL OVER PORCH BEAMS AT POSTS  
 FRAME ABOVE WITH 90X45 H1.2 SG8 @600C  
 CLAD WITH DIRECT FIX BEVELBACK WEATHERBOARDS ON FASTWRAP UNDERLAY

FACTORY COVERED TRUSSES @ 600C  
 12mm H3.1 PLY SARKING OVER TRUSSES  
 BITUMAC 750 ROOF UNDERLAY OVER PLY  
 50X40 H1.2 TILE BATTENS AT 370C MAX  
 CONCRETE ROOF TILES TO MATCH HOUSE

EX 200 X 25 H3.1 FASCIA (DOTTED) TO  
 MATCH HOUSE  
 PVC GUTTER JOINED TO HOUSE GUTTER

190X90 H3.1 SG8 BEAMS  
 140 SD H3.2 POSTS  
 2/M12 BOLTS POST TO BEAM

BEVELBACK WEATHERBOARD ON 90X45 H3.1  
 FRAMING AS INFILL BETWEEN POSTS

WBOARD INFILL WALL EXTENDS MIN 760  
 ABOVE TOP OF BUILT-IN SEAT

140X45 H3.2 SG8 STRINGER BOLT TO BLOCK  
 WALL @ 1600C MAX  
 JOIST TO STRINGER 2/100X3.75 SKEW NAILS

EX100X40 GRIPTREAD PINE DECKING  
 190X45 H3.2 MSG8 JOISTS @ 600C  
 190X70 H3.2 MSG8 BEARER

125 sq H5 PILES  
 FOOTING DETAIL AS PER DECK

STEP AND BALLUSTRADE  
 DETAIL AS PER REAR  
 DECK STEPS

BEVELBACK WEATHERBOARDS TO  
 GABLE ABOVE BOTTOM CHORD

FIX TRUSS TO LINTEL WITH 2/CT160 TIES  
 (LUMBERLOCK) AND 2/90X3.15 SKEW NAILS  
 POSTS NOTCHED 50mm FOR LINTEL

SET INFILL FRAMING TO BACK LINE OF POSTS  
 FRAMING @ 600C EACH WAY  
 30mm GAP BOTTOM OF FRAMING TO  
 DECKING

DUNEDIN CITY COUNCIL  
 APPROVED BUILDING CONSENT DOCUMENT

2012 - 2155

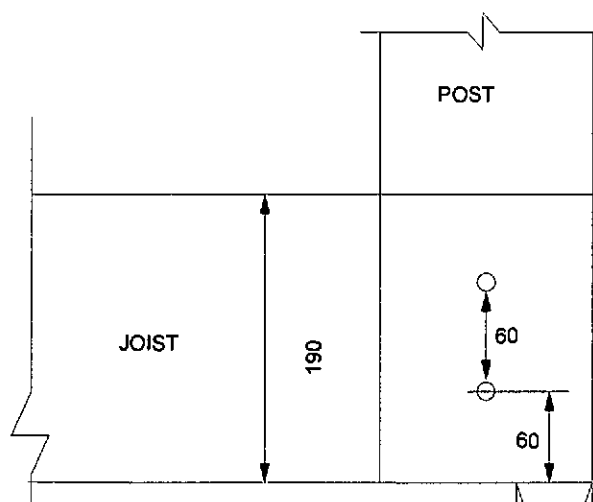
AA  
 8  
 PORCH/STEPS  
 SCALE 1:50

BB  
 8  
 PORCH/SEATS  
 SCALE 1:50

BB  
 8  
 PORCH/INFILL  
 SCALE 1:50

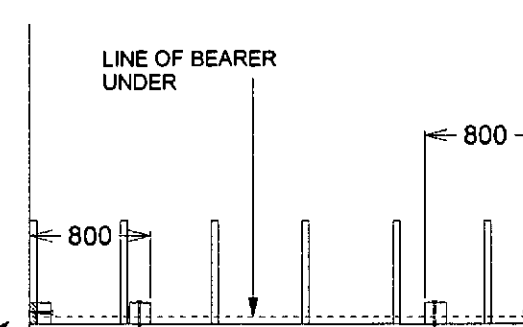
PAINT FINISH:  
 FASCIA, POSTS ABOVE DECK LEVEL,  
 WEATHERBOARDS, FINISHING  
 TIMBER  
 ALL 3 COAT ACRYLIC GLOSS SYSTEM

FIXINGS  
 ALL STRUCTURAL FIXINGS TO  
 DECKS TYPE 304 STAINLESS STEEL



2/M12 BOLTS EACH POST TO  
 JOIST

CORNER POSTS NOTCHED  
 45mm AT JOIST



POST FIXINGS  
 SCALE 1:50

CONFIRM ALL DIMENSIONS ON SITE

LEGAL  
 DESCRIPTION:  
 SEC 18 BLK XII  
 SO 14977  
 TN OF WAIKOUAITI

SITE  
 ADDRESS:  
 69 STORNOWAY ST  
 KARITANE

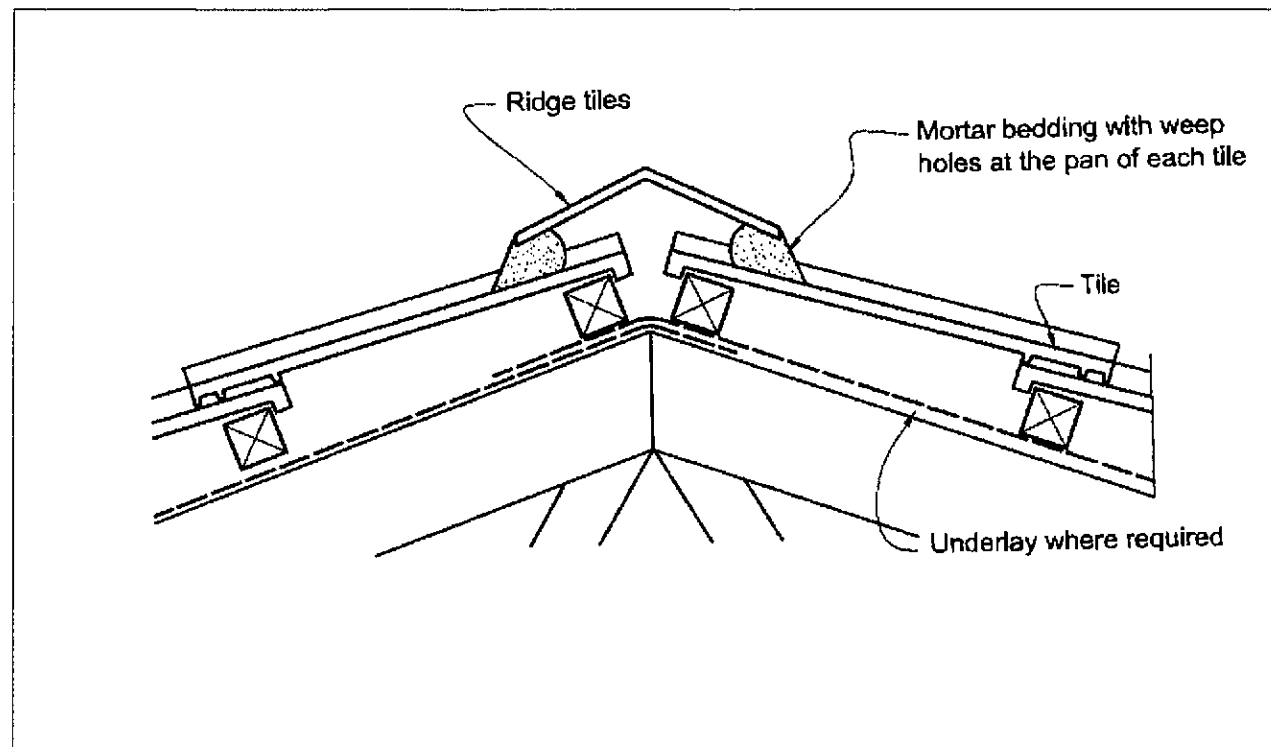
PROJECT:  
 CLIENT:

ALTERATIONS TO DWELLING  
 FOR S HELWIG & L MORRISON

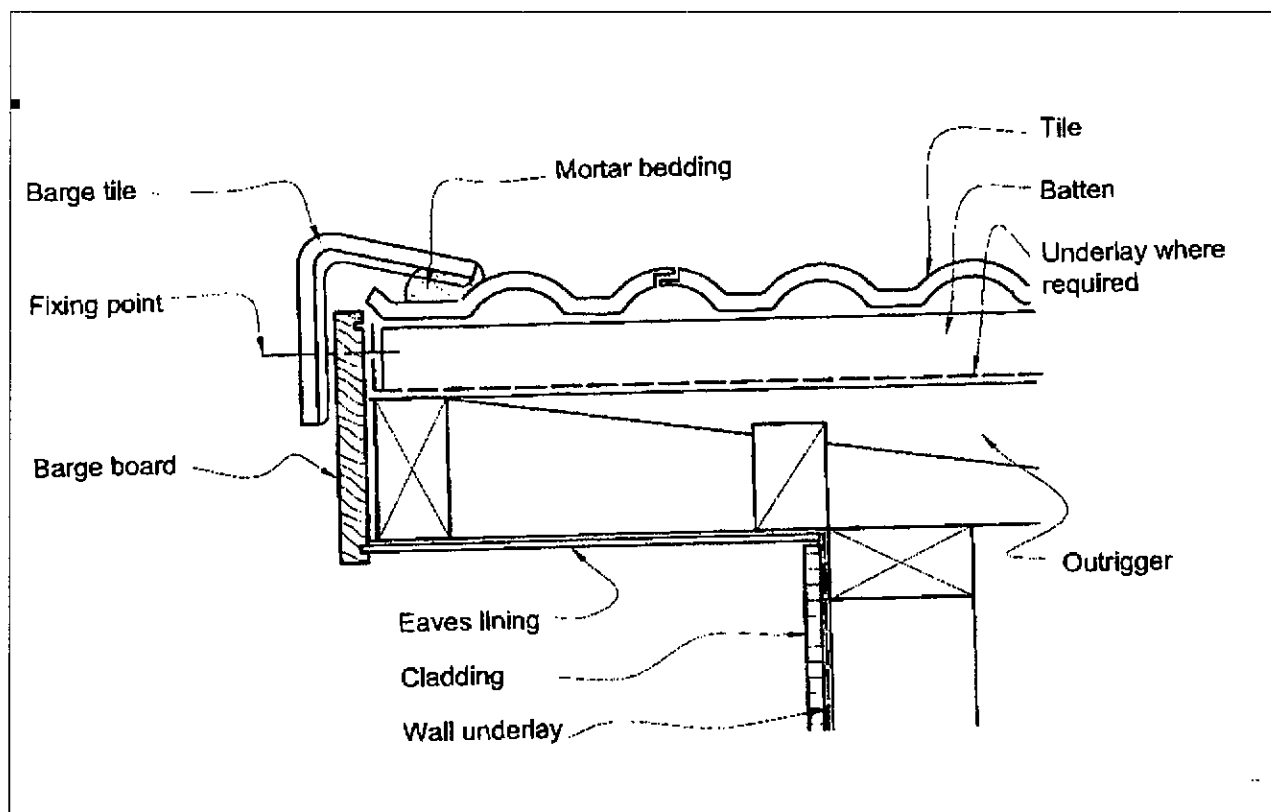
LEE PRESTON  
 DESIGN  
 0275520130

DRAWING:  
 SECTIONS AT PORCH  
 DRAWN:  
 LP  
 SCALE:  
 1:50

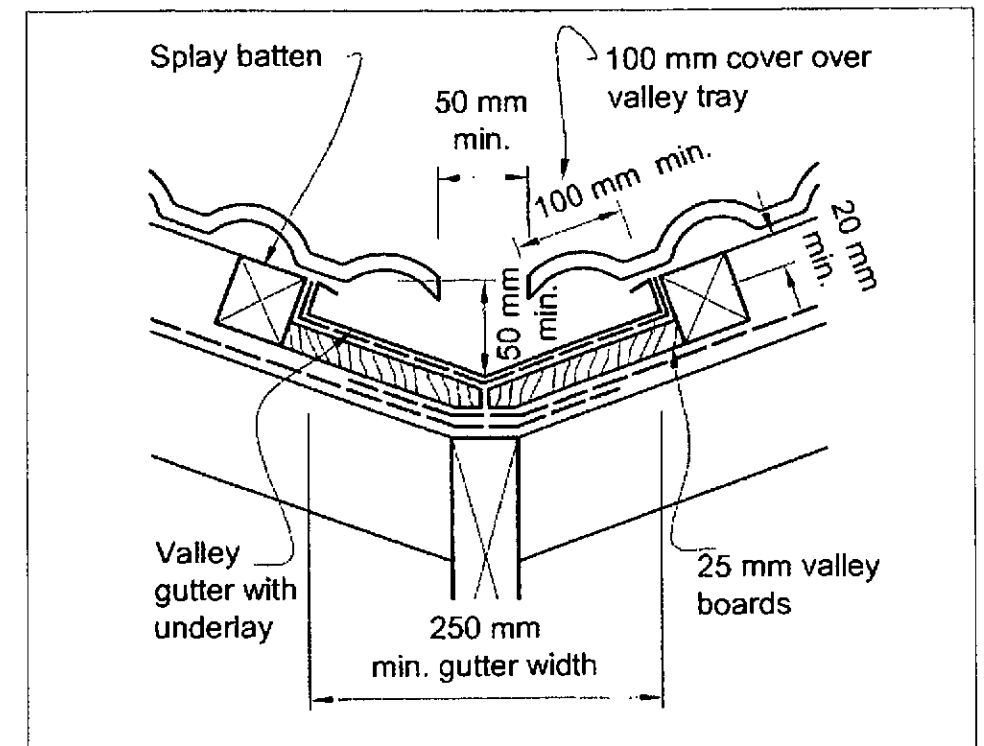
SHEET:  
 9  
 DATE: 12/12/2012  
 JOB REF:  
 510



RIDGE

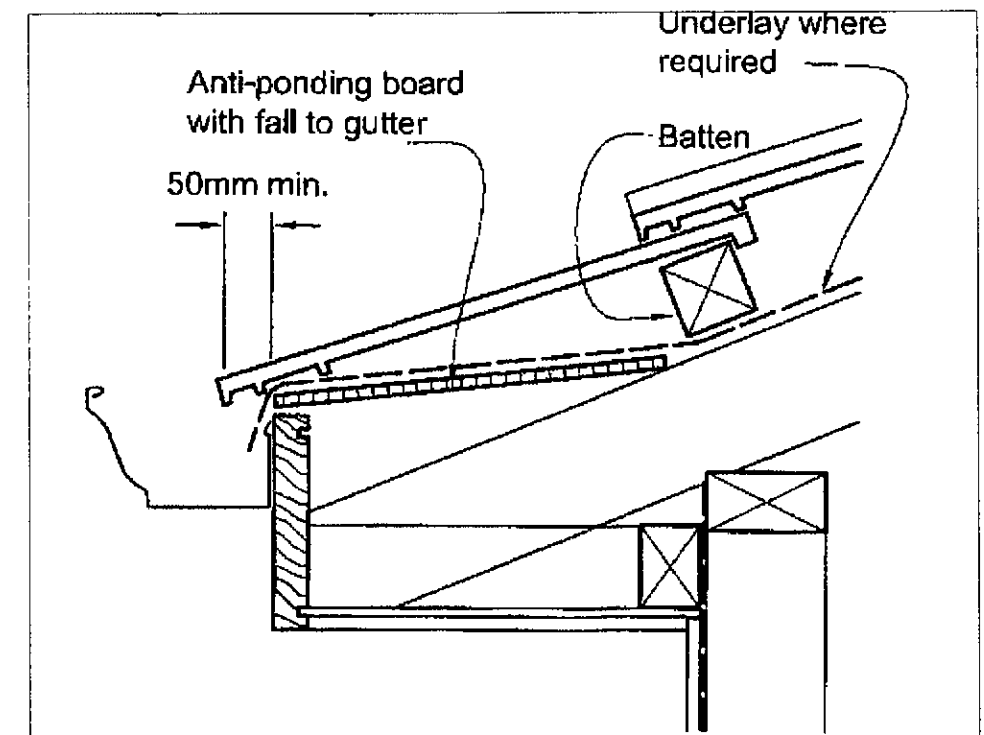


BARGE



GUTTER DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2012 - 2155



EAVES

CONFIRM ALL DIMENSIONS ON SITE

LEGAL DESCRIPTION:  
SEC 18 BLK XII  
SO 14977  
TN OF WAIKOUAITI

SITE ADDRESS:  
69 STORNOWAY ST  
KARITANE

PROJECT:  
CLIENT:

ALTERATIONS TO DWELLING  
FOR S HELWIG & L MORRISON

LEE PRESTON  
DESIGN  
0275520130

DRAWING: ROOF DETAILS  
DRAWN: LP  
SCALE: N.T.S.

SHEET: 10  
DATE: 15/11/2012  
JOB REF: 510



## DESCRIPTION OF WORK

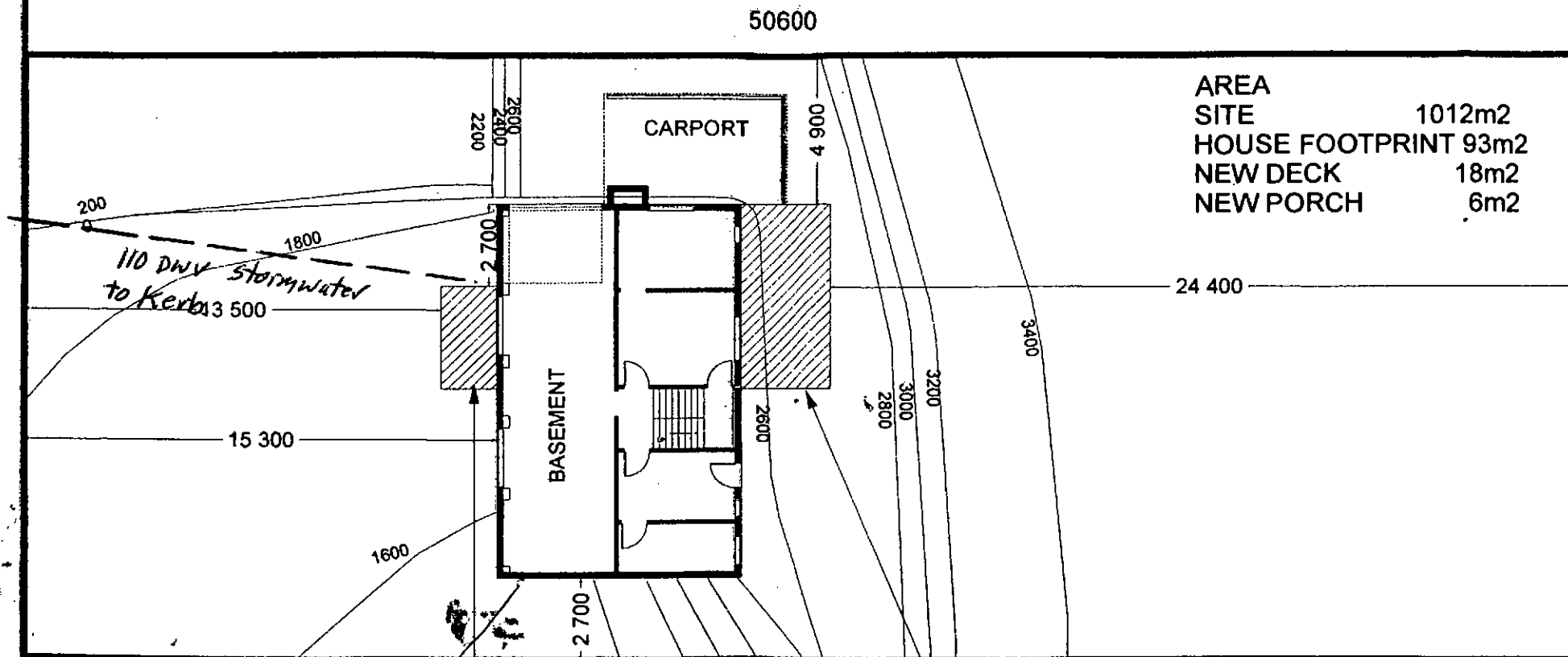
REMOVE EXISTING CANTILEVERED DECK  
ERECT NEW TIMBER DECK TO NORTH ELEVATION  
ERECT NEW ENTRY PORCH TO SOUTH ELEVATION

### MEANS OF COMPLIANCE:

STRUCTURE NZBC B1/AS1 DURABILITY NZBC B2/AS1 ACCESS ROUTES NZBC D1/AS1 SURFACE WATER NZBC E1/AS1 EXTERNAL MOISTURE NZBC E2/AS1  
SAFETY FROM FALLING NZBC F4/AS1

DCC COPY

STORNOWAY STREET



NEW PORCH

NEW DECK

EXISTING DWELLING  
MASONRY BASEMENT  
TIMBER FRAMED BRICK VENEER GRND FLOOR  
ERECTED 1976

DUNEDIN CITY COUNCIL  
Plans and Specifications Approved in accordance  
with The New Zealand Building Code and Approved  
Documents. To be retained on works  
and produced on request

Building *Thewson* Date *5/11/2013*  
Drainage Date  
Health Date

NOTE

As Built Plan

Received by: *Thewson*

Date: *5/11/2013*

ABA No: *2012-2155*

LEGAL  
DESCRIPTION:  
SEC 18 BLK XII  
SO 14977  
TN OF WAIKOUAITI

SITE  
ADDRESS:  
69 STORNOWAY ST  
KARITANE

PROJECT:  
CLIENT:

ALTERATIONS TO DWELLING  
FOR S HELWIG & L MORRISON

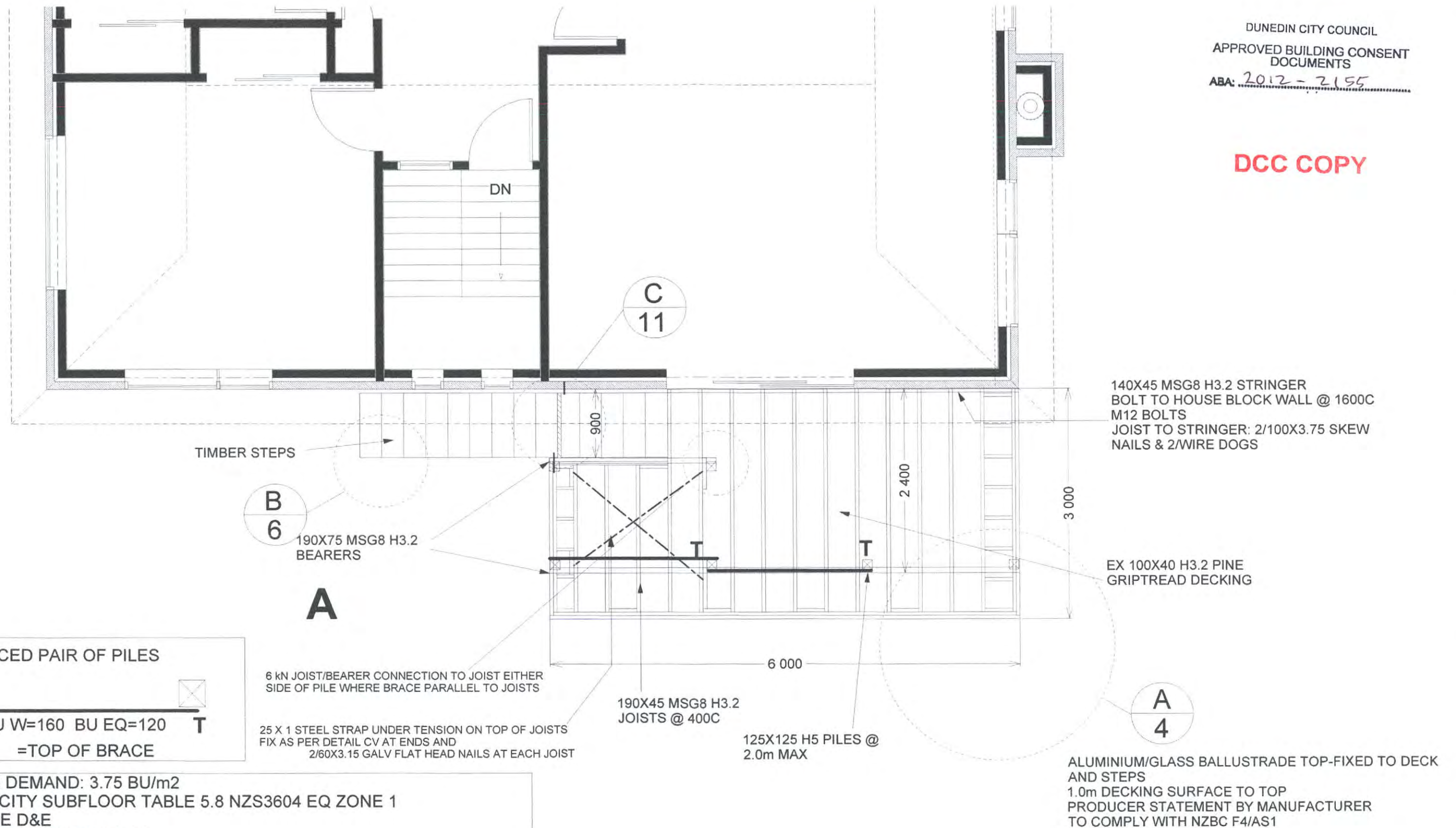
CONFIRM ALL DIMENSIONS ON SITE

LEE PRESTON  
DESIGN  
0275520130

DRAWING:  
SITE PLAN  
DRAWN: LP  
SCALE: 1:200

SHEET: 1  
DATE: 15/11/2012  
JOB REF: 510

**DCC COPY**



**CONFIRM ALL DIMENSIONS ON SITE**

LEGAL DESCRIPTION:  
**SEC 18 BLK XII  
SO 14977  
TN OF WAIKOUAITI**

SITE ADDRESS:  
**69 STORNOWAY ST  
KARITANE**

PROJECT:  
**ALTERATIONS TO DWELLING  
FOR S HELWIG & L MORRISON**

**LEE PRESTON  
DESIGN  
0275520130**

DRAWING: **DECK PLAN**  
DRAWN: LP  
SCALE: 1:50

SHEET: **4**  
DATE: 20/09/2013  
JOB REF: 510



DCC COPY

SS M12X130 THRUBOLT STRINGER TO HOUSE BASEMENT WALL WITHIN 150mm OF RISER  
50X50X3 WASHER

2/SSCPC80 CLEATS STEP STRINGER TO 140X45 RISER BOTH ENDS (12KN)

SS M12 BOLT STRINGER TO TIMBER PILE  
50X50X3 WASHERS

25X 1 SS STRAP OVER JOISTS  
ENDS WRAPPED AROUND JOISTS AND NAILED TO EACH FACES 6/SS PRODUCT NAILS  
LAMINATE SAME DEPTH AS JOIST TO "SANDWICH" STRAP 3/90X3.15 GALV NAILS AT  
150mm EACH SIDE OF STRAP

**CONFIRM ALL DIMENSIONS ON SITE**

LEGAL  
DESCRIPTION:  
**SEC 18 BLK XII  
SO 14977  
TN OF WAIKOUAITI**

SITE  
ADDRESS:  
**69 STORNOWAY ST  
KARITANE**

PROJECT:

**ALTERATIONS TO DWELLING  
FOR S HELWIG & L MORRISON**

CLIENT:

**LEE PRESTON  
DESIGN  
0275520130**

DRAWING: **DETAIL C**

DRAWN:  
LP

SCALE:  
1:20

SHEET: **11**

DATE: **20/09/2013**

JOB REF:  
**510**



Amended Plan and/or  
Specification Received

By.....

Date...04/06/2019.....

ABA-2018-2544

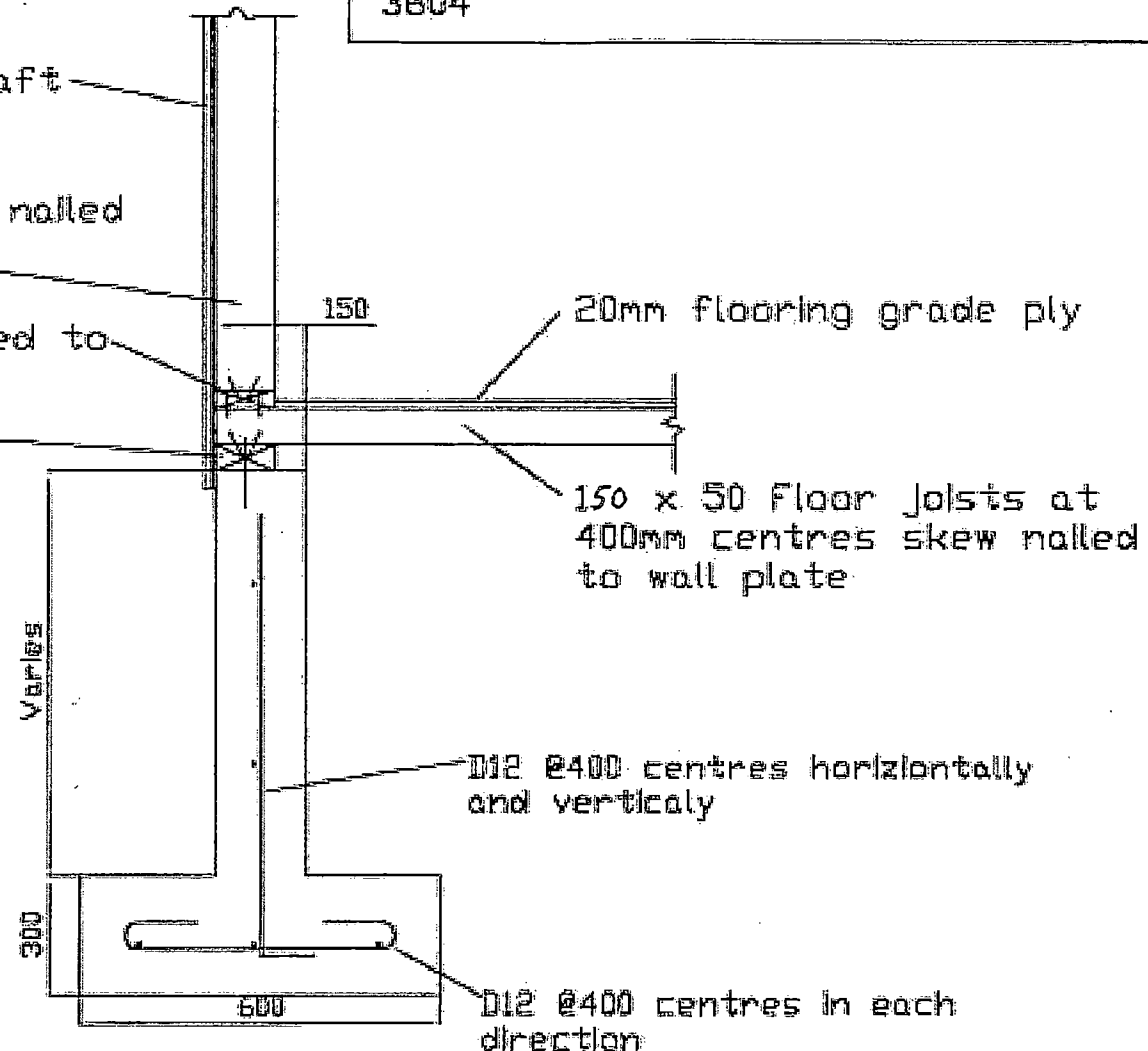
NOTE: subfloor framing to be nailed in accordance with table 6.15 of NZS 3604

Wall lining to be Thermakraft Watergate Plus 295.

100 x 50 wall framing skew nailed to bottom plate

100 x 50 bottom plate nailed to floor joists

100 x 75 wall plate bolted to foundation with M12 through bolts at 900mm centres



SECTION A-A

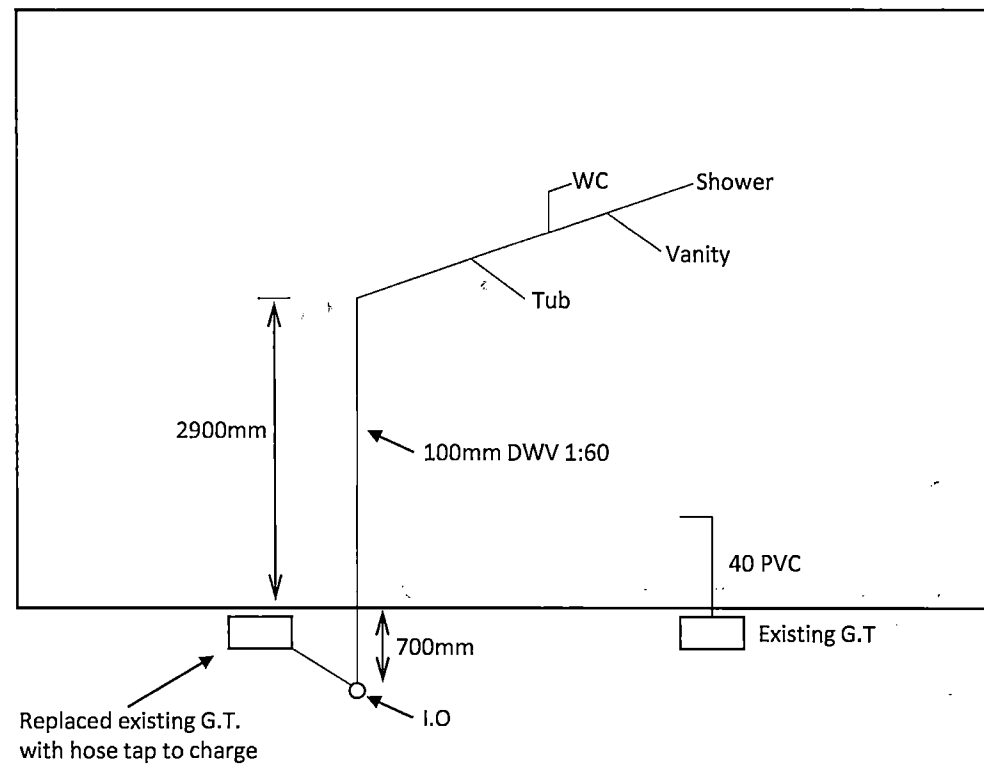
As Built Drainage Plan – 69 Stornoway Street, Karitane

As Built Plan

Received by: DSK

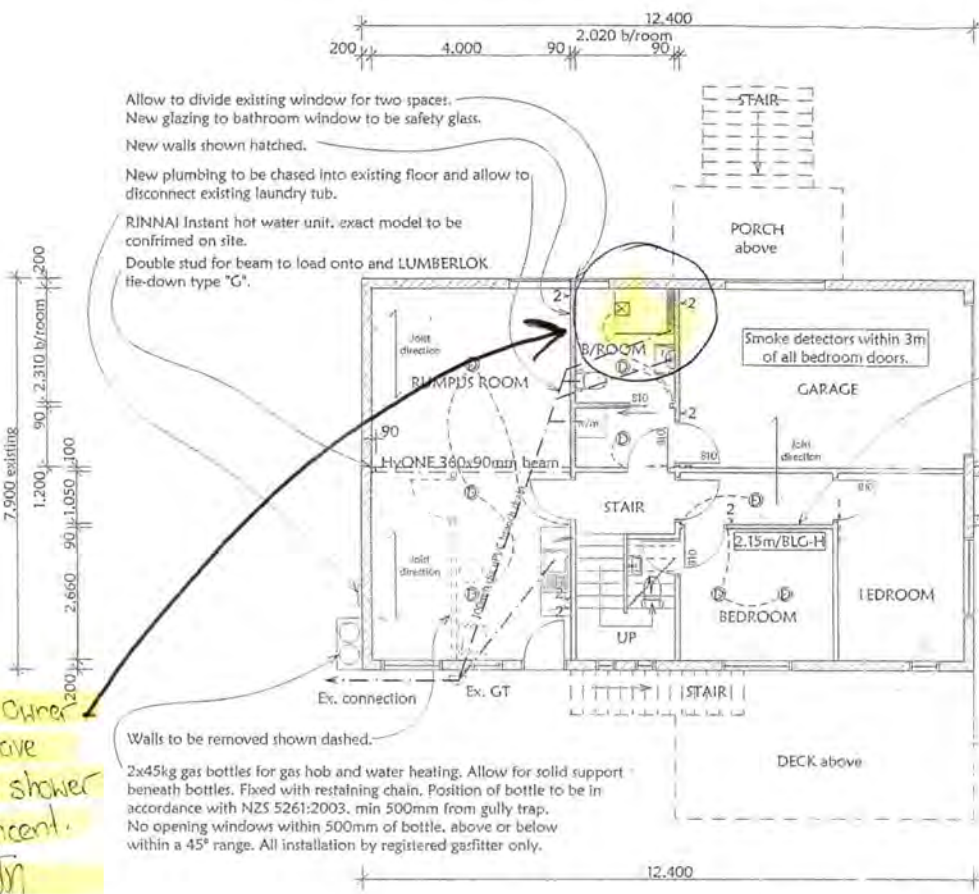
Date: 26-8-19

ABA No: 2017-2059



# AS BUILT PLAN SHOWER TILED CHANGED TO ACRYLIC.

1. Stefan Austin, Owner of the house have deleted tiled shower from this consent. 4.6.19 JPA



## LEGEND

- Switched socket outlet
- 2 Double
- Switching line
- Light switch
- Selected extract
- Selected IC downlight
- Mirror mounted light.

## NOTE:

- All power points to be 300mm above FFL.
- All lighting, power points etc selection and placement to be confirmed with client on site. Electrical plan to be used as a general guide ONLY.
- All light fittings to be placed centered and symmetrical.
- Downlights (if used) must be IC rated.

## NOTE:

- Check on site all dimensions and set out.
- Regular maintenance of the building cladding and roof system is expected of the owner. This includes:
  - Washing exterior surfaces. (Washing by rain removes most accumulated atmospheric contaminants, but sheltered areas such as walls directly below eaves, are protected from direct effects of rain and require regular manual washing).
  - Inspecting surfaces and junctions. (Some heavily textured surfaces will not be as effectively washed by heavy rain as smoother surfaces, so will require more regular manual washing. However, it is important that high pressure water is not directed at sensitive junctions such as window surrounds and other flashings.)
  - Great care must be taken to avoid water being driven past self-capillary gaps and flashings into the wall cavity.
  - Rapid repair or replacement of items when necessary, in order to preserve the water tightness of the building.
  - Vermin proof all cavities.
  - All construction to E2/AS1
  - Design to Min Very High wind-joinery and glazing.
- JPA Ltd has no responsibility for the building work carried out on the residence prior to these working drawings being completed and building consent being granted.

*JPA*

23/11/2017

## NOTE:

- 10mm gib board to all internal wall timber framing to be Very High wind zone. Existing wall framing to remain, unless noted to be removed.
- NEW internal non load bearing walls
- 50x90x45@600mm ctrs (up to 3.0m high)
- Note, allow for GIB aqualine to all wet areas.
- 13mm gib board to 35x75mm ceiling battens @450mm ctrs (GIB Aqualine to wet areas) where replacement required.
- FAIRVIEW (or similar) aluminium window and door joinery. Double glazed. Safety glass to "high risk" areas.
- Any new timber framing-All bottom plates to wet area to be timber framing H7 treated. All other timber to be P1.2 as per B2/AS1 4 April 2011.
- DPC between all timber and concrete.
- All doors and door hardware and Bathroom fitout by owner.
- Vermin proof all cavities.
- JAMES HARDIE Tile & Slate Underlay to be used in tiled areas.

Bath-40mm, 1:40 fall min  
Shower, bath, sink-40mm, 1:40 fall min  
Sewer/greywater drain-100mm, 1:60 fall min  
50mm dia. main drain vent size.

## NOTE:

- Plumbing schematic only.
- All to AS/NZS 3500 Part 2.2 Sanitary Plumbing & Drainage
- Any waste pipes greater than 3.5m in length to have AAV fit on "r" bend.
- Hot/Cold water pipe work shall be Rehau H15 Cross link polyethylene. Pipe work shall be fitted with 13mm wall thickness Armaflex insulation.
- Refer to G13/AS2 Section 6.7.4 & 6.7.5 for requirements w/ freezing of pipes is possible.
- Access points to foul water drainage to be provided as per G13/AS2 Section 5.7.4
- Gas appliances to be installed by registered plumber/gas fitter. Position of bottles to be in accordance with NZS 5261:2003. All installation by registered gasfitter only.

## NOTE:

- No change to existing roofing or cladding. No new openings. No Matrix required.

## NOTE: E3 requirements to wet areas.

- Showers to be tiled in situ shower. Allow for WATERPROOFING SYSTEMS (or similar) Gripset 2P or Gripset 38 (depending on curing time available) to all under tile areas. Refer to all manufacturers product information, specification and details for installation and maintenance. All splash areas to bathroom to meet NZBC E3, Section 3.1.2 Allow for JAMES HARDIE 6mm fibre cement board to shower area for tiling.
- To areas not in splash zones, AQUALINE gib board to be used, sealed, stopped and paint finish. Any watersplash areas to walls to be lined with impervious and easily cleaned materials as outlined in E3/AS1 Section 3.1.2.
- Flooring within splash areas to be impervious and easily cleaned materials as outlined in E3/AS1 Section 3.1.2
- All fitout to Bathrooms by owners.
- Safety glass to new glazing used in lower bathroom.
- Mechanical ventilation by Manrose (or similar) over shower to both bathrooms (150mm Pro Series Centrifugal Fan Kits, operate with light switch). Installation and details by manufacturer. Also allow for mechanical ventilation to Laundry cupboard, if dryer is installed.
- Existing HWC to be removed.

## NOTE: UNLESS DESIGNED BY ENGINEER.

- Lintel fixed as per NZS 3604 Fig 8.12, Table 8.14, table 8.19 and Section 8.6.1.8.
5. Bottom plate fixed to floor slab as per NZS3604 Section 7.5.12 & Fig 7.21. M12 bolt fixings not more than 150mm from end of wall and 1.2m ctrs along the wall.
- Allow fixing of top plate to studs as per NZS3604:2011 Table 8.18. fixing type B-2/90x3.15 end nails+2 wire dogs.
- Fixing of top plate to walls as per NZS3604:2011 Figure 8.16.
- Joists fixed to beam as per NZS 3604:2011, Table 7.5

## Revision A-November 2017

- Safety glass noted to bathroom window.
- Fixing of bottom plates referenced.
- Fixing of top plates to wall connections referenced.
- Fixing of top plates to studs referenced.
- Note added in regards to bracing.

## Revision B-November 2017

- Beam tie-down noted.
- Bracing information added to drawing.
- Connection of joists to beam added on drawings.



79 Brephay Road  
Ed 21, Te Maunga  
Geraldine

Job Title  
MONEY Addition/Alteration  
69 Stormoway St.  
KARITANE

Client  
M MONEY

Drawing Title

Drawn by  
Jess Paterson

Scales  
As Shown

Drawing Number  
2 of 3

Revision  
B

## As Built Plan

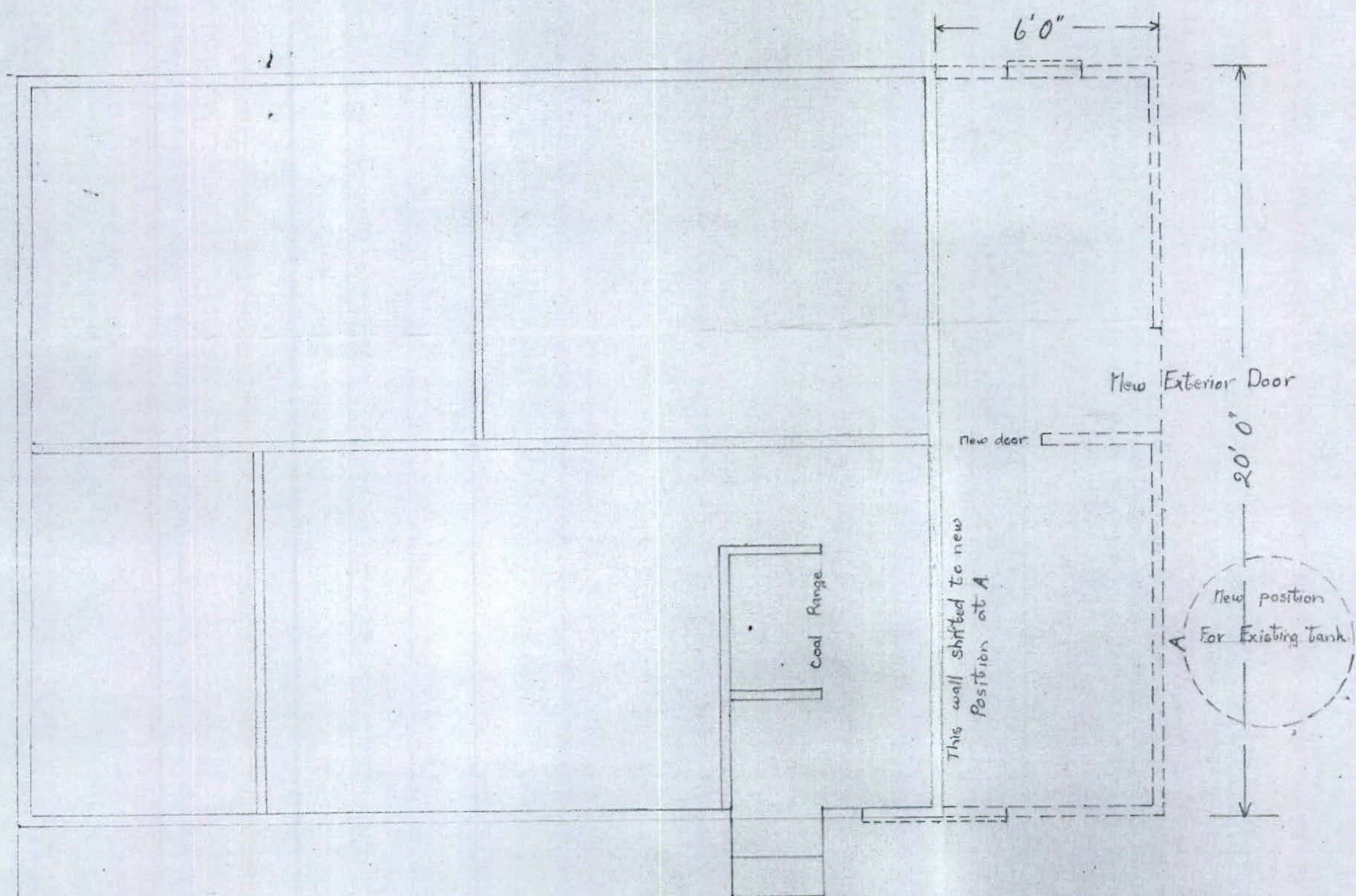
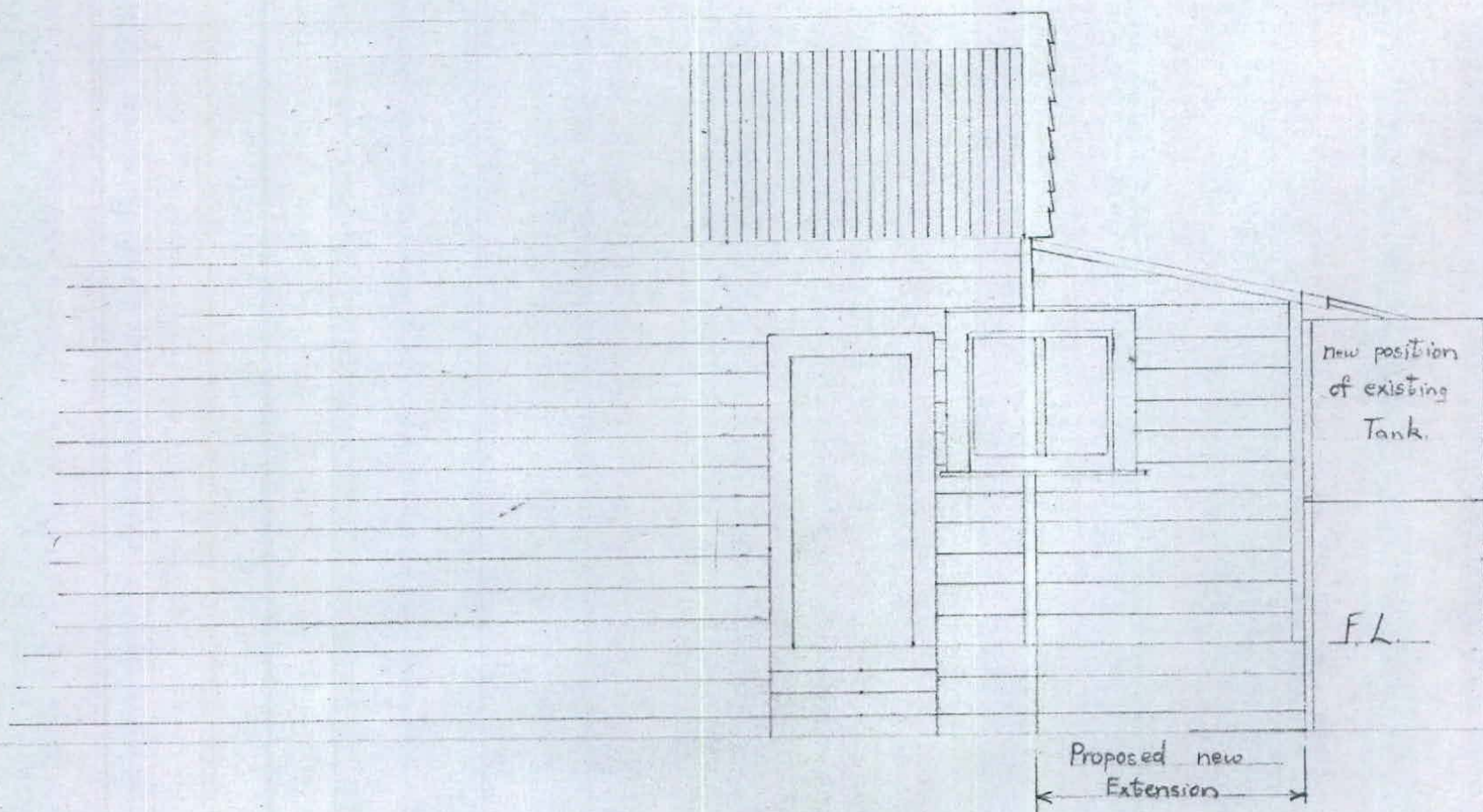
Received by: DJK

Date: 26.8.19

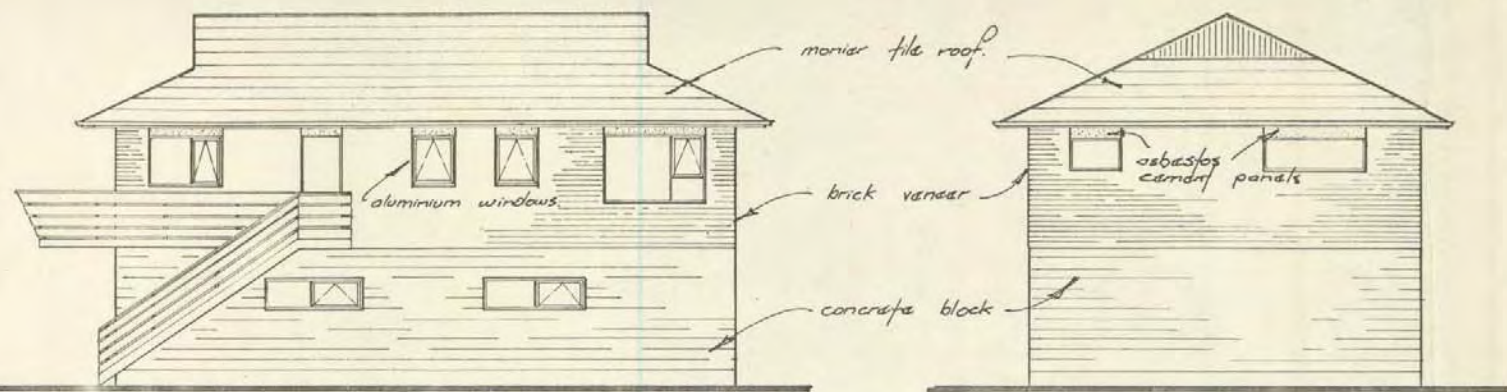
ABA No: 2017-2059



# PROPOSED EXTENSION TO CRIB AT KARITANE FOR MR G D WRIGHT

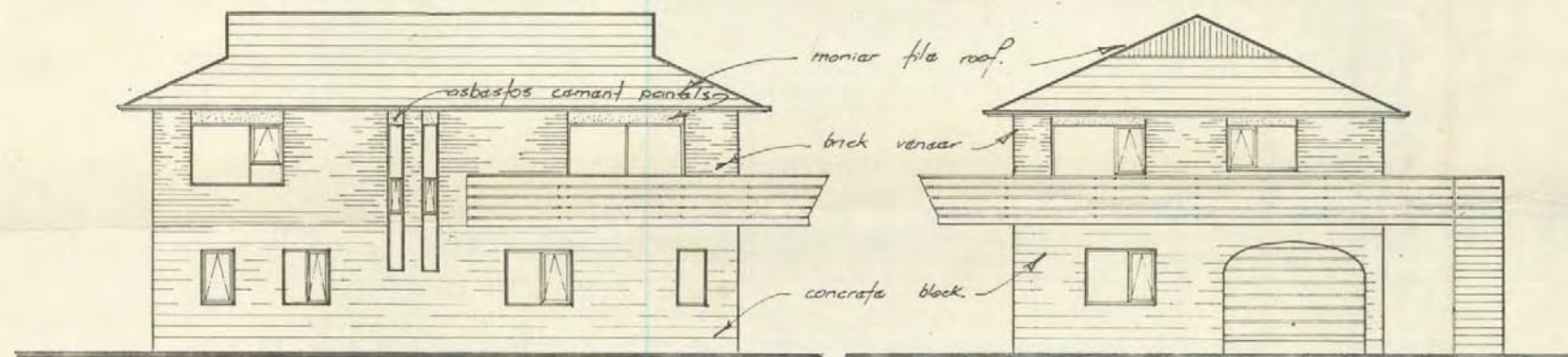






ELEVATION C

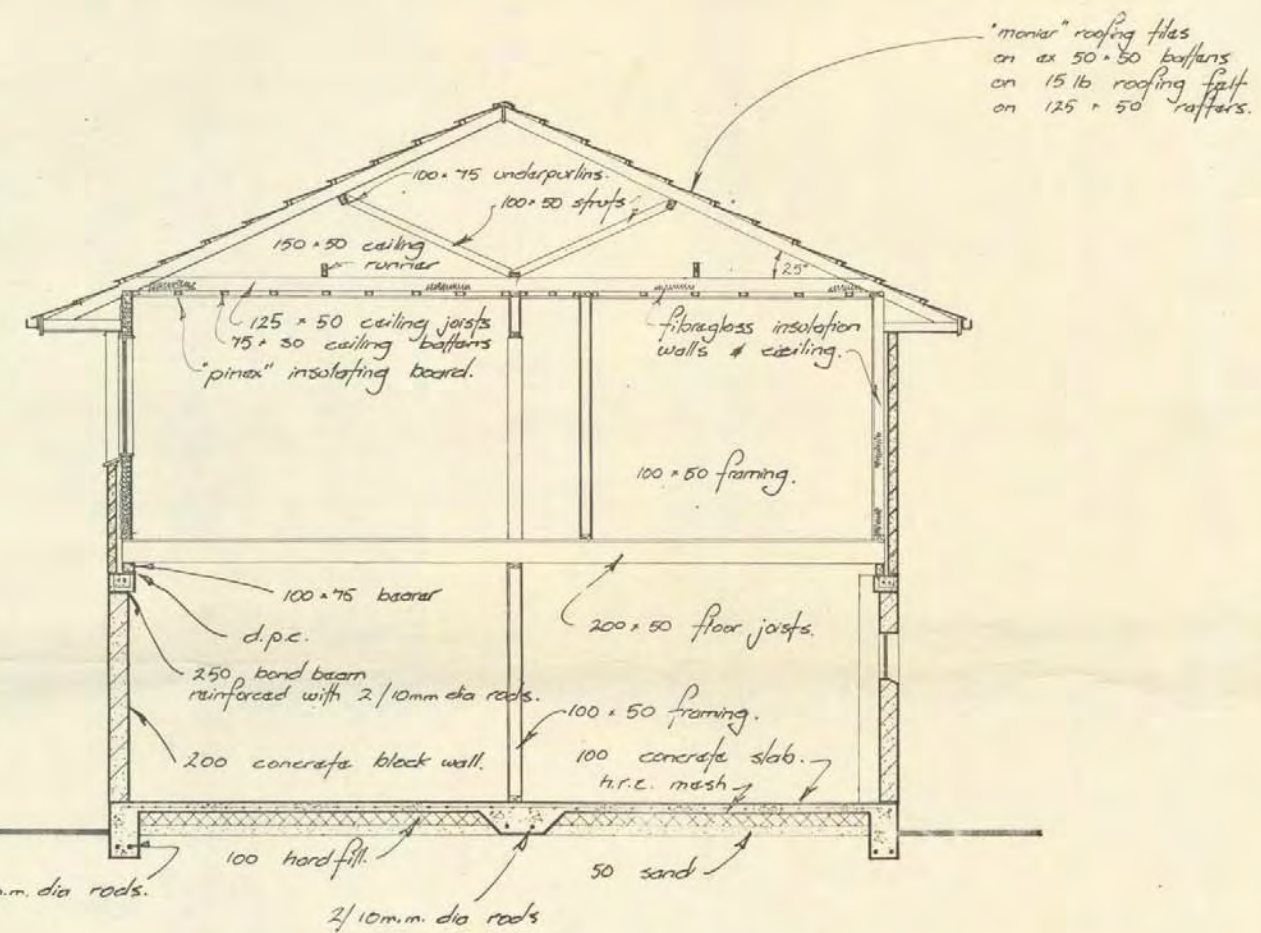
ELEVATION D



ELEVATION A

ELEVATION B

scale 1:100

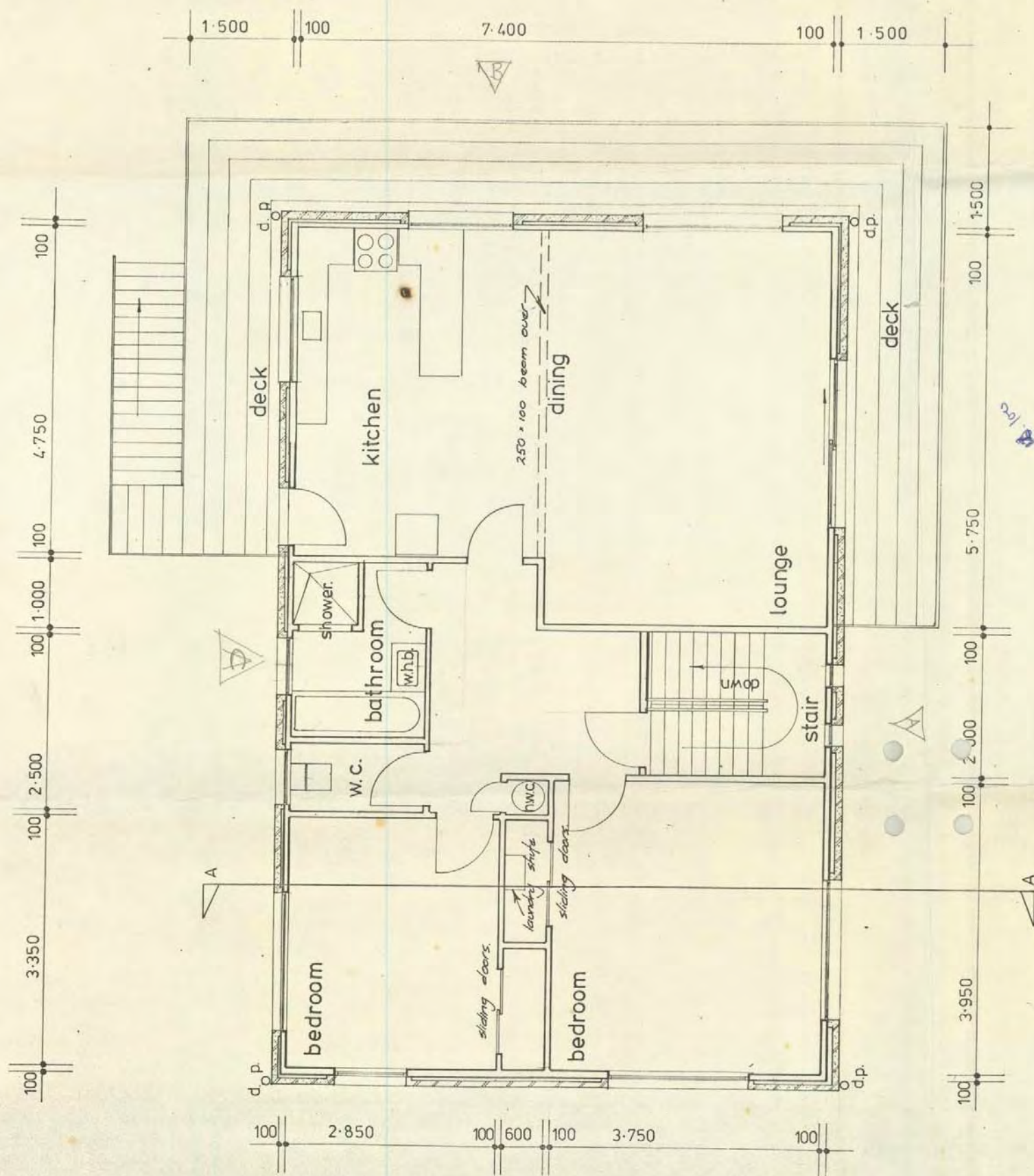


SECTION A:A scale 1:50

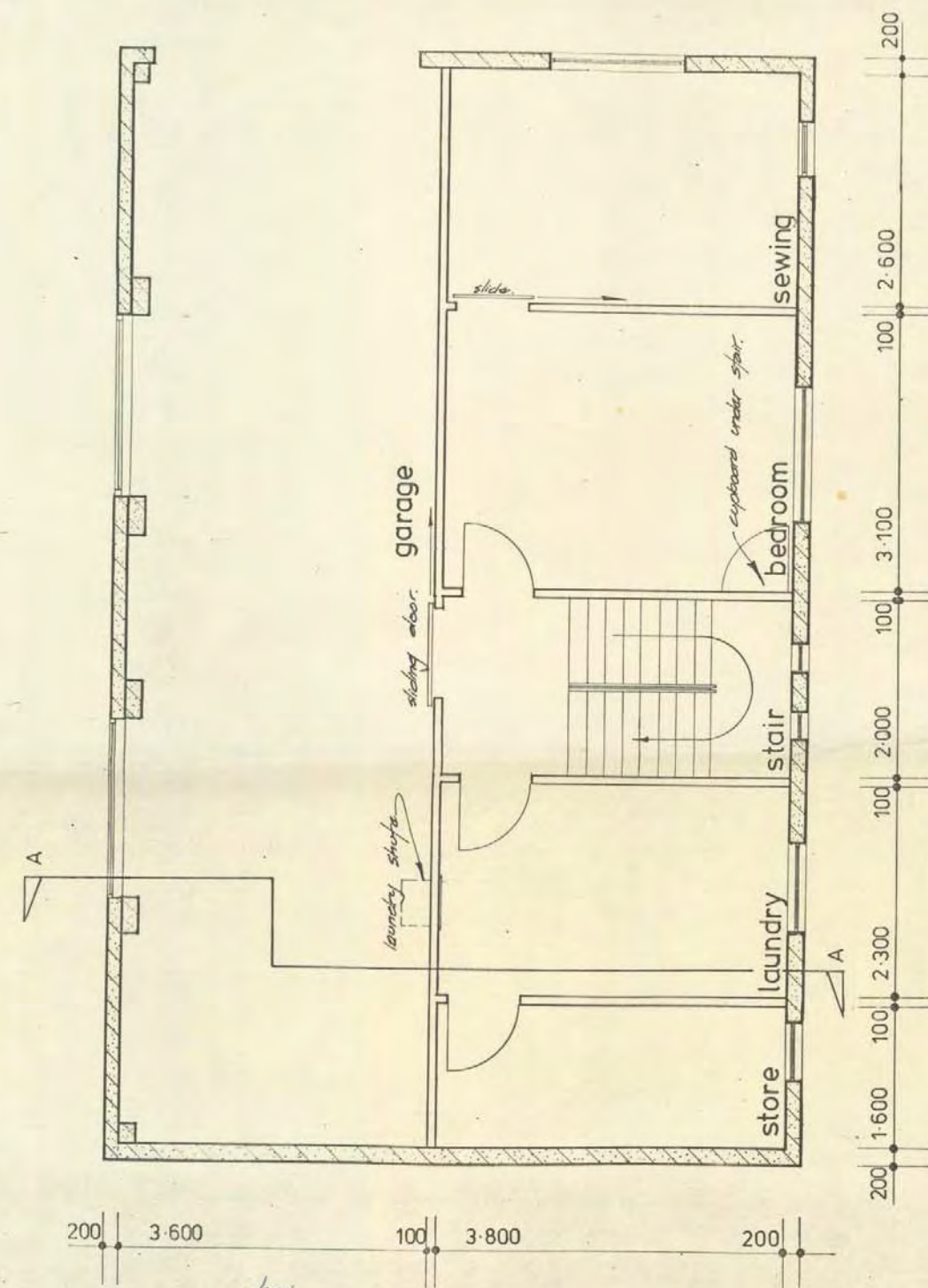
ALL CONSTRUCTION TO COMPLY WITH N.Z.S. 1900.

drawn by b.f. corson  
131 forfar st  
Dunedin.





GROUND FLOOR PLAN  
scale 1:50



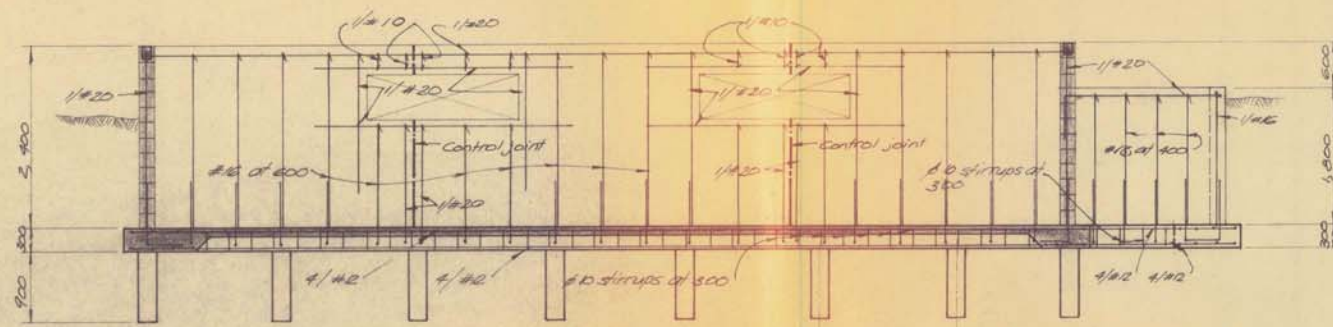
BASEMENT FLOOR PLAN

drawn by b.f.corson.  
131 forfar st  
Dunedin.

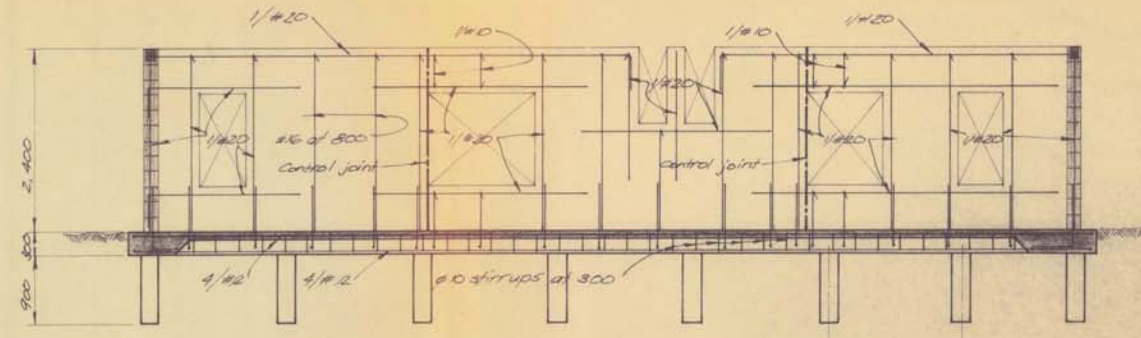
12.400  
7.950  
4.450  
11.80  
10.950  
2.150

12.400

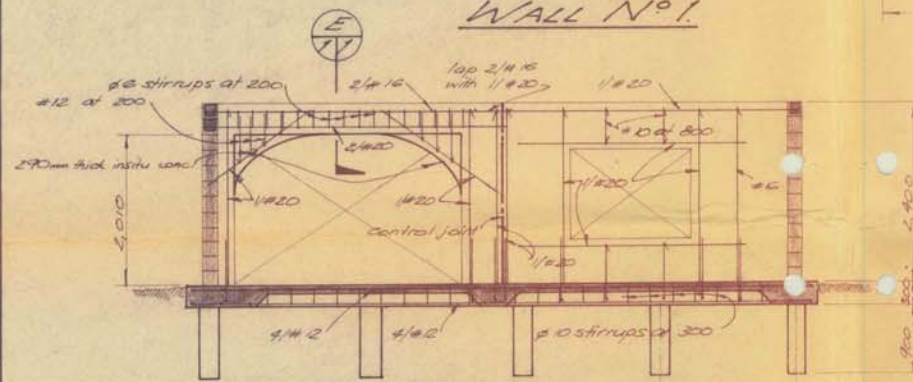




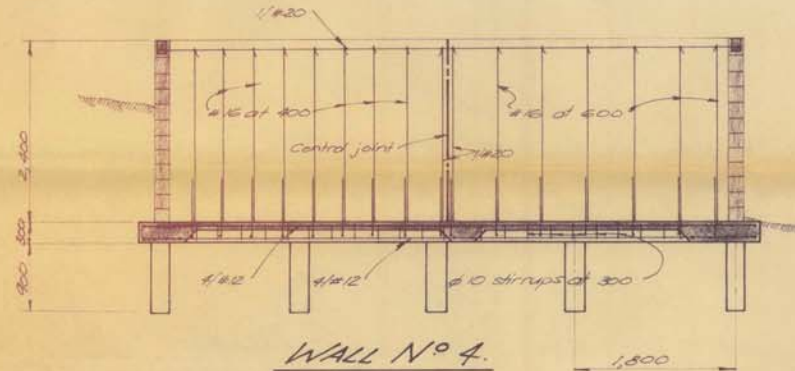
WALL N°1.



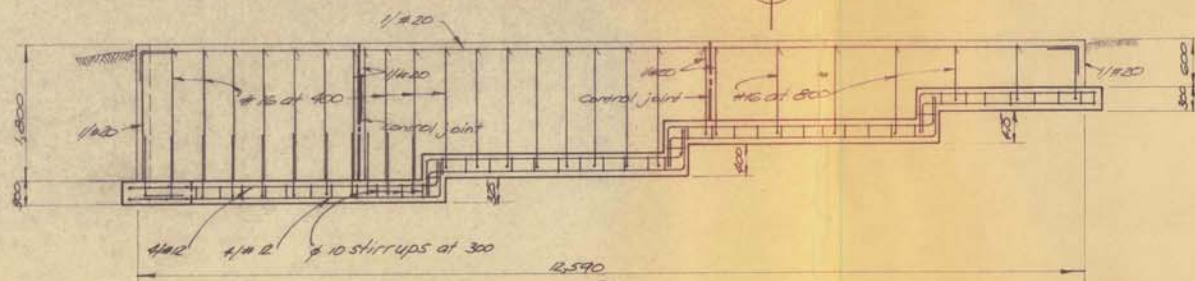
WALL N°2.



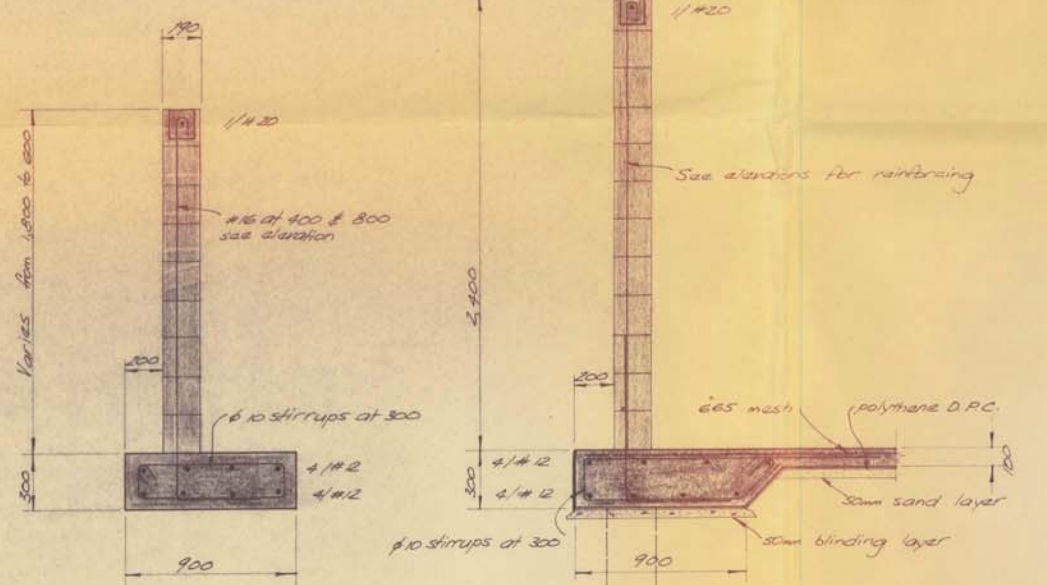
WALL N°3.



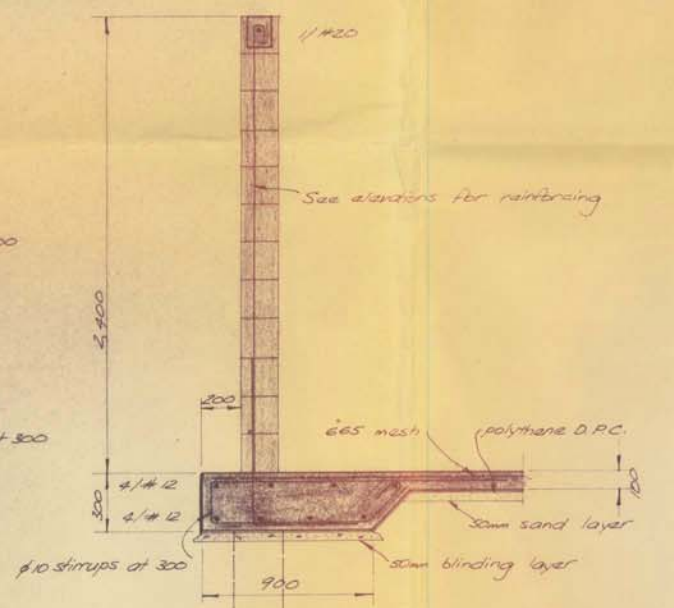
WALL N°4.



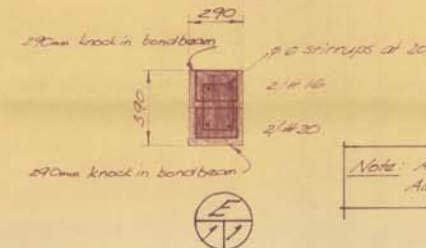
A



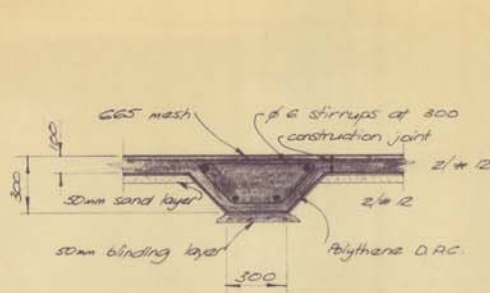
B



C



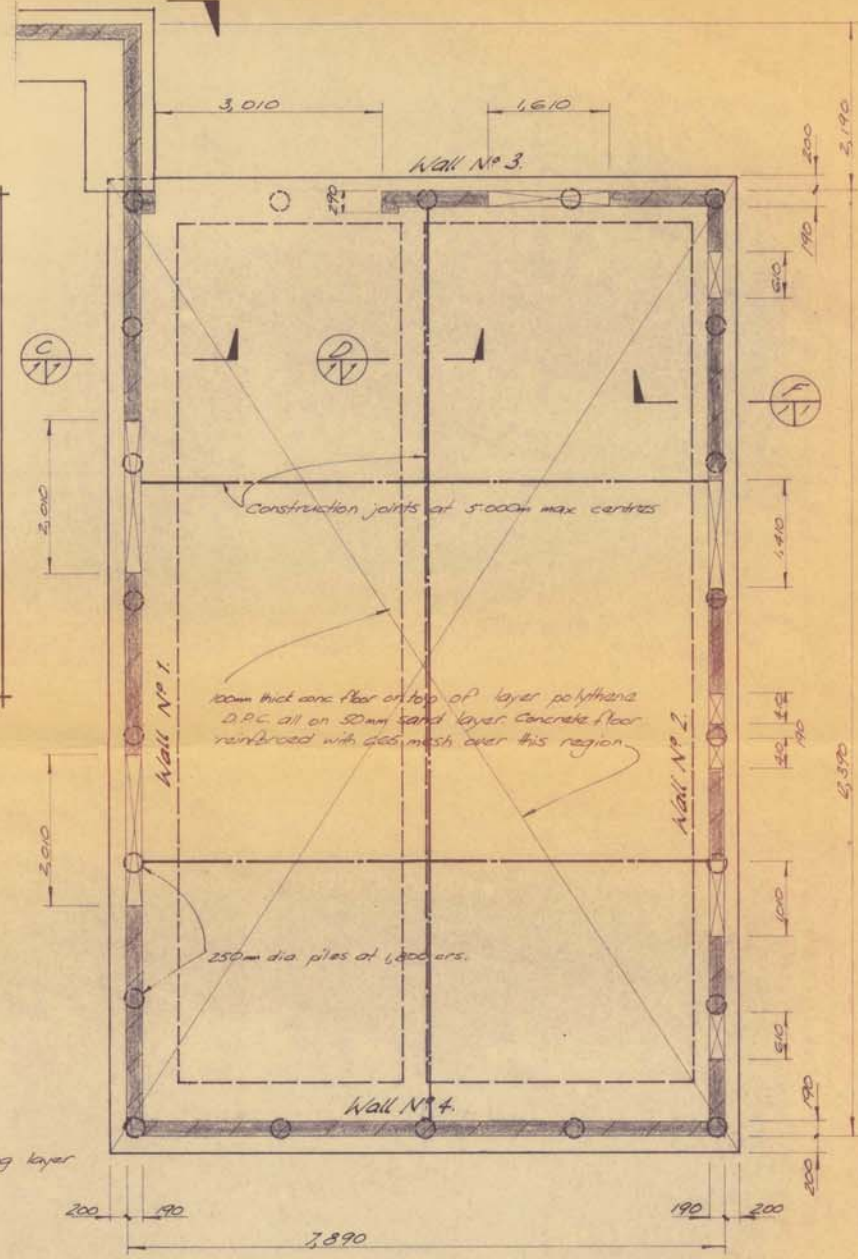
E



D

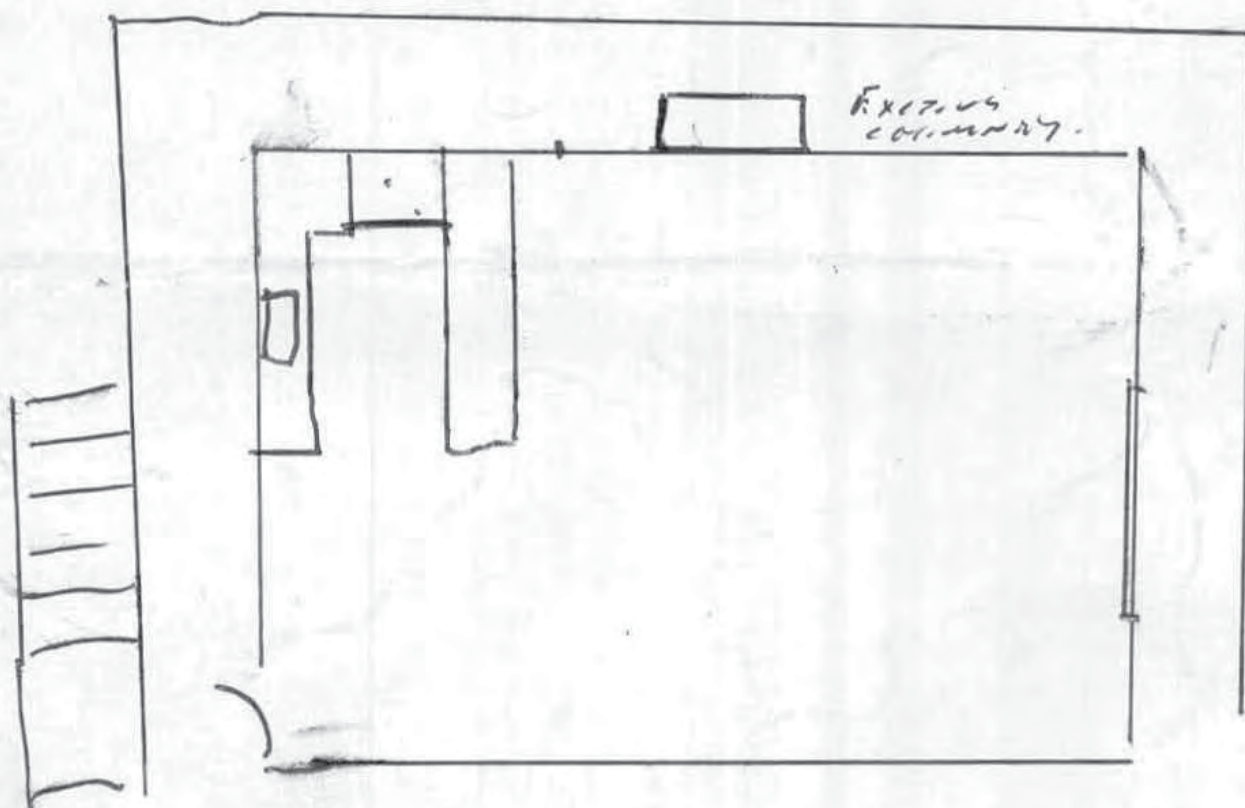
**General Notes:**  
 Standards: All materials & workmanship shall be in strict accordance with the requirements of the NZ Standards code of Building By-Laws N.Z.S. 1990.  
 Excavations: Shall be to a depth of at least 300mm to satisfactory solid ground & to the Engineer's approval.  
 Reinforcement: Shall be deformed bars to N.Z.S. 693, plain bars to N.Z.S. 694 as shown on the drawings. W denotes deformed bars & denotes plain bars.  
 Reinforcing: To have a yield stress of 235 N/mm².  
 Concrete: Footings & floor concrete strengths to be 20 N/mm².  
 Ground Filling in blockwork to be 50mm (min) reinforced with 10mm mesh.  
 D.P.C. Shall be 15mm pressure sensitive tape. Bitumast shall be laid on 50mm sand layer & edges masticed with neat mastic to vertical concrete surfaces. Apply 3 coats mastic to all blockwork & vertical concrete surfaces below finished ground level. In some cases insulating board over mastic for protection during backfilling.  
 Piles: To be of sound granular nature, and of the following dimensions:  
 Construction joints: To be 10mm wide x 20mm min deep, 50mm joints at 5,000mm max centres.

**Note:** All reinforcing to be lapped 600mm min. All turns in reinforcing to be 300mm min.



FOUNDATION PLAN



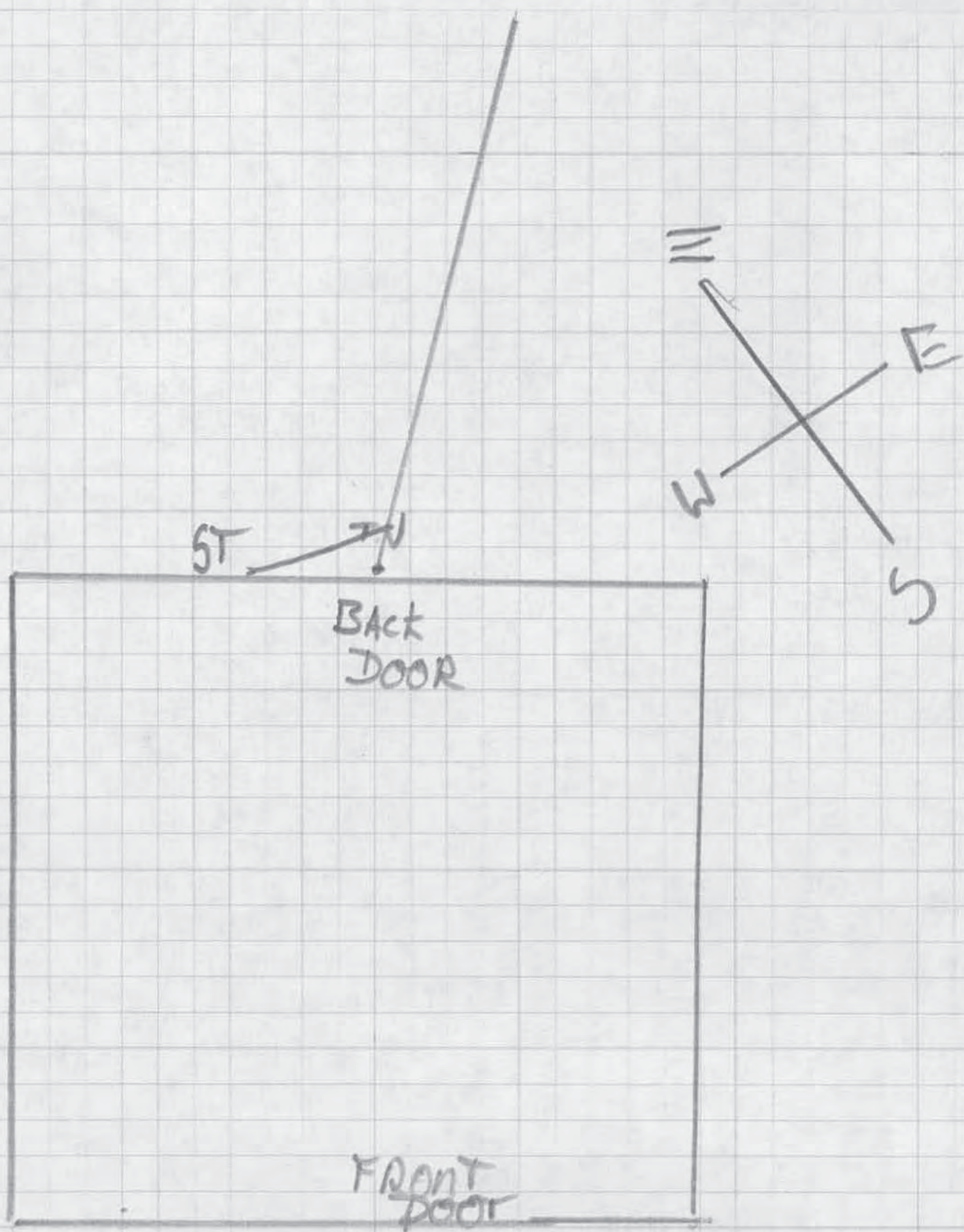


Manufactured in New Zealand by:  
**The Stack Manufacturing Company Limited**  
P.O. Box 9354 Newmarket, Auckland  
New Zealand Telex: NZ 21808  
Telephone: (09) 501-148 / 501-147

Distributed in Australia by:  
**Robert Mong Aust. Pty Limited**  
P.O. Box 282 Footscray, Victoria 3011.  
Telephone: (03) 689-3052

© 1983 The Stack Manufacturing Company Limited  
Designed and printed in New Zealand





---

Stormway st  
Mr C. V. McLaughlan  
69 Stormway st Karitane



# ILVERPEAKS COUNTY COUNCIL

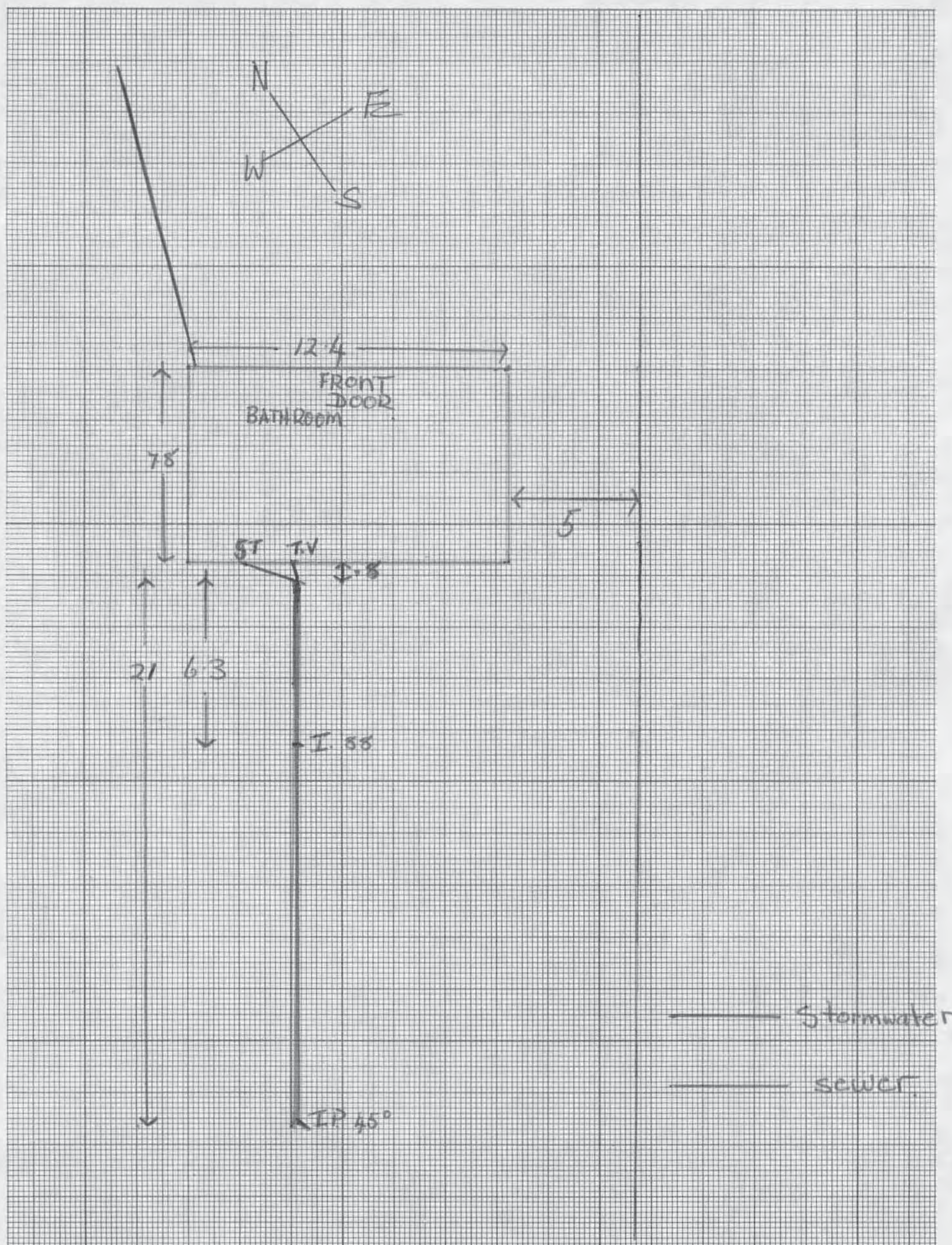
## DRAINAGE BLOCK PLAN

F.A.I. means Fresh Air Inlet  
I.P. means Inspecting Pipe

REFERENCE:  
Y.P. means Junction Pipe  
G.T. means Gully Trap  
T.V. means Terminal Vent

NOTE: Full house outline and all sewers and stormwater drains must be shown.

SCALE — FIVE MILLIMETRES EQUALS ONE METRE (1:200)



Valuation No. 26550/120

Permit No. ....

Owner Mr C McLaughlan

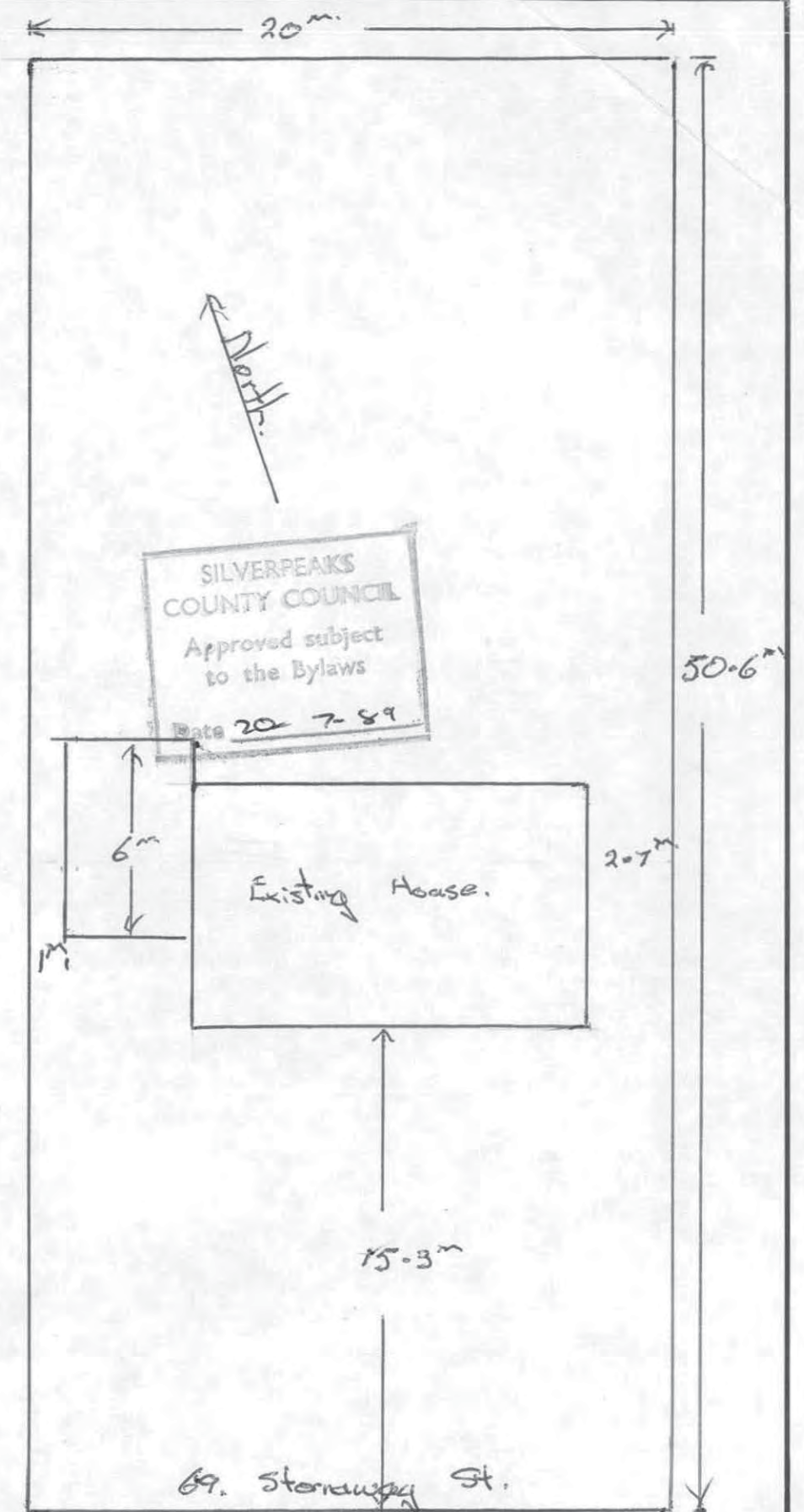
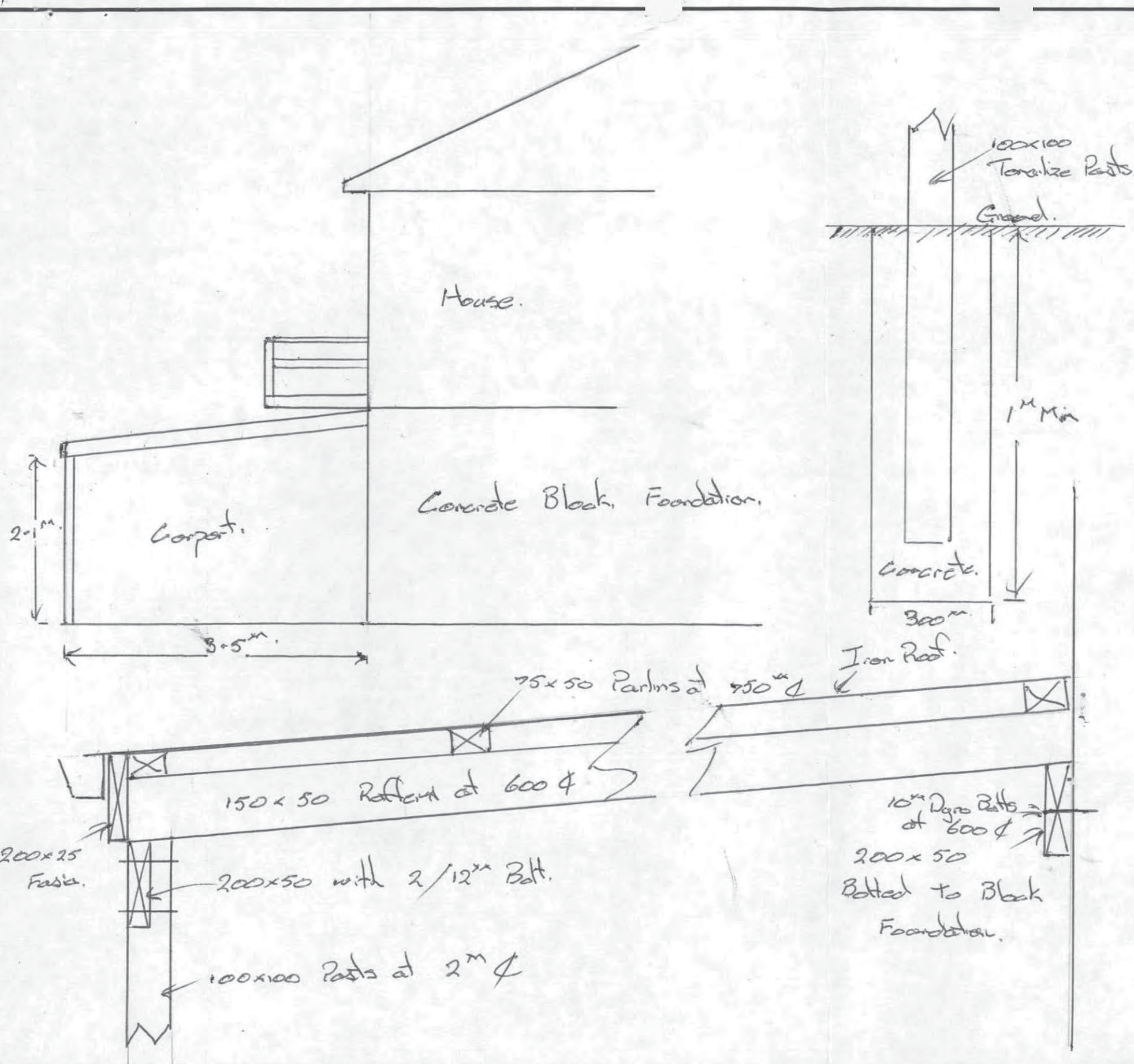
District

Description of Property 69 stormway st karitane

Date 22/6/84

Signature of Drainer G.P. O'Connell





DRAWN BY		DRAWING No.	Carport for Mr Dick. 69 Stornaway St Karare.		EXCEL.	V. GOOD	GOOD	FAIR	POOR
DATE	SCALE			LINE QUALITY					
				INTERPRETATION					
				ACCURACY					
				LAYOUT					